

DATE OF MEETING | May 27, 2019 |

AUTHORED BY | CALEB HORN, PLANNER, CURRENT PLANNING |

**SUBJECT | DEVELOPMENT PERMIT APPLICATION NO. DP1119
– 4800 UPLANDS DRIVE / 6035 LINLEY VALLEY DRIVE**

OVERVIEW

Purpose of Report

To present for Council’s consideration, a development permit application for a 251-unit rental housing development consisting of three four-storey buildings at 4800 Uplands Drive and 6035 Linley Valley Drive. |

Recommendation

That Council issue Development Permit DP1119 at 4800 Uplands Drive / 6035 Linley Valley Drive with the following variances to:

- increase the maximum building height from 14m to 16.6m;
- increase the maximum allowable height of retaining walls from 1.2m to 7.49m; and
- reduce the landscape screening requirements for the proposed refuse receptacles. |

BACKGROUND

A development permit application, DP1119, was received from Macdonald Gray Consultants on behalf of NPR GP Inc., in order to permit a 251-unit multi-family residential development at 4800 Uplands Drive and 6035 Linley Valley Drive. The applicant proposes to consolidate the two properties in order to create a cohesive development of three four-storey apartment buildings. |

Subject Property:

<i>Zoning</i>	R8 – Medium Density Residential
<i>Location</i>	The subject properties are located on the east side of Uplands Drive, between Turner Road and Oliver Road. A panhandle portion also fronts on Linley Valley Drive.
<i>Total Area</i>	2.79 ha
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Designation – Corridor Map 3 – Development Permit Area No. 5 – Steep Slope Development; Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential Development.
<i>Relevant Design Guidelines</i>	Steep Slope Development Permit Area Guidelines General Development Permit Area Design Guidelines

The subject properties are relatively flat with a steep embankment down to Uplands Drive. Surrounding land uses include a new commercial development (Dodd’s Furniture and La-Z-Boy) under construction to the northwest and existing multi-family developments to the northeast and

east. The Longwood Station commercial development and the Longwood residential multi-family complex are located on the opposite side of Uplands Drive to the west. The site is located within walking distance to the Nanaimo North Town Centre and transit stops on the #40 bus route.

DISCUSSION

Proposed Development

The proposed development is a 251-unit residential rental development comprised of three four-storey buildings with the following unit composition:

<i>Building #</i>	<i>One-Bedroom Units</i>	<i>Two-Bedroom Units</i>
1	16	54
2	16	54
3	32	79
Total	64	187

The proposed buildings will have a total gross floor area of 23,909m² and a Floor Area Ratio (FAR) of 0.86, below the maximum permitted FAR of 1.25 in the R8 zone. The maximum lot coverage in the R8 zone is 40% and the proposed buildings do not exceed 21%. The proposed unit density is equal to 90 units/ha, within the density range of 50-150 units/ha envisioned by the Official Community Plan (OCP).

Site Design

The proposed development is concentrated toward the centre of the property to maximize outdoor amenity space and respect setback requirements. There are a number of existing covenants registered on title of the subject properties from the time of property creation that dictate the site design, including: building setbacks, retention of trees along the eastern edge of the site, minimum number of parking spaces to be provided underground, building design guidelines, and amount of on-site recreational space to be provided to residents.

The property at 4800 Uplands Drive lies within the Steep Slope Development Permit Area. Most of the property consists of a relatively flat plateau with a steep embankment (approximately 6m high) along Uplands Drive. The embankment contains no rocky knolls, outcrops, or significant environmental features, and will be replaced with terraced landscaped retaining walls to screen the underground parking and provide a vegetated edge to the sidewalk. The reinstatement of a vegetated slope addresses the Development Permit Area guidelines.

The parking provided meets the requirements of the City of Nanaimo “Off-Street Parking Regulations Bylaw No. 2018 No. 7266” and the majority of the 350 proposed parking spaces will be provided in an underground parking structure below all three buildings. An existing covenant on the subject properties requires that 90% of the required parking be provided underground. The proposed parking layout exceeds this requirement by providing 92% of the required parking underground. Included in the parking count are 17 visitor parking spaces, 9 accessible parking

spaces, 34 parking spaces with access to electric vehicle charging, as well as the required short- and long-term bicycle parking and storage spaces.

Some parking spaces will be provided at-grade, centrally located between the three buildings, and will be screened from the street and neighbouring properties. There are two vehicular access points: from Linley Valley Drive, and from Uplands Drive via a common access driveway that is shared with the adjacent commercial properties (Dodd's Furniture and La-Z-Boy).

Pedestrian connectivity will be provided at the north and south corners of the site from Uplands Drive and Linley Valley Drive. As required by an existing covenant, a public walkway will run along the north property line to connect Linley Valley Drive and Uplands Drive. The proposed site design and location will provide excellent connectivity onsite and to nearby shops and services, transit, and City parks and trails, including Oliver Woods Recreational Centre.

Additional frontage improvements will include a new mid-block crosswalk on Uplands Drive (in front of Building 2) to be completed in conjunction with the City.

Building Design

The rental development is split into three buildings with permeability between the buildings to break up the massing onsite. Buildings 1 and 2 are oriented parallel to Uplands Drive, set back from top of the terraced retaining walls, and will be connected by a covered walkway and amenity space. Building 3 is located at the back of the property in an 'L' shape oriented toward the centre of the site. Each building will include a private gym.

The design of the buildings is consistent with the character of existing developments in the neighbourhood, including a rhythm of gabled roofs grounded by vertical structure bays, covered balconies, and ground-level patios. Building materials include cultured stone on the lower levels and different coloured HardiePlank siding and HardiePlank shingles to distinguish the three buildings. The proposed development meets the General Development Permit Area Design Guidelines and complements the existing character of the Longwood neighbourhood.

Landscape Design

The proposed landscape plan has both a residential and natural character. A tree retention and natural restoration area will act as a landscape buffer along the east property line. Landscaping will be included around the buildings, surface parking areas, private patios, and walkways. The plant material selected is primarily native to the site. Where non-native species are used, they will be selected for their drought tolerance and native appearance.

The multiple-tiered Allan block retaining wall along Uplands Drive will be predominantly screened by vegetation that will add year-round interest. Each terrace of the retaining wall will be up to 1.5m high and up to 2m deep for landscaping. The proposed wall incorporates between six small terraces and four large terraces as the slope and building allows, stepping down to meet existing grades. A permeable aluminum railing will be provided along the top of the wall.

The proposed development includes a comprehensive programme of amenity spaces located throughout the site including:

- A children's play and parents' pavilion;
- An open space that is large enough for informal sports and activities;
- A plaza area located in the centre of the site defined by raised planters, planting beds, picnic tables, and other seating options;
- A sheltered plaza space between Buildings 1 and 2 overlooking Uplands Drive; and
- Small seating areas, pergolas, and bollard lighting are provided throughout the site adjacent to hard surface pathways to demarcate points of entry for wayfinding and to identify individual units on the ground levels.

Design Advisory Panel Recommendations

The Design Advisory Panel (DAP) originally considered DP1119 at its meeting held on 2018-NOV-08, but did not support the design as presented at the time and recommended the applicant redesign the buildings to better address the form and character design guidelines. The applicant revised their proposal to be more characteristic of the Longwood neighbourhood.

DAP accepted DP001119 as presented on 2019-JAN-10 and provided recommendations to improve wayfinding to individual building entrances and to review the retaining wall design along Uplands Drive. The applicant addressed these recommendations and is considering individual colour schemes to differentiate the buildings. A residential-style railing has also been added along the top of the retaining walls to provide a safety measure and help articulate the embankment face.

Proposed Variances

Maximum Building Height

"City of Nanaimo Zoning Bylaw 2011 No. 4500" (the "Zoning Bylaw") has a maximum allowable building height of 14m in the R8 zone. The proposed building height is 16.62m; a proposed variance of 2.62m.

The majority of the buildings are within the 14m height requirement, but the dormer portions extend higher as architectural features that punctuate the long horizontal rooflines. The dormers were added in a later iteration of the proposed development based on feedback from DAP to better comply with design guidelines and reflect the character of the surrounding developments. The height variance does not increase the floor area of the buildings but instead, adds visual interest to the buildings.

The building will be separated in grade from Uplands Drive and well separated from other residential developments, so it is not anticipated that the height variance will result in any negative impacts.

Staff support the proposed height variance.

Maximum Fence Height

The Zoning Bylaw has a maximum allowable fence or retaining wall height of 1.2m in the front yard setback and 3m outside of the setbacks in the R8 zone. The proposed Allan block retaining wall along Uplands Drive have a maximum total height of 7.49m; a variance up to 6.29m.

Where a retaining wall is terraced and individual terraces are structurally dependent on each other, total height is measured from the base of the lowermost terrace to the top of the uppermost terrace. The wall depth varies along the Uplands Drive frontage from 1 to 6 terraces with a total maximum depth of approximately 8m. The individual terraces range in height from 0.89m to 1.5m. The total retaining wall height will vary from grade up to a maximum of 7.49m.

The proposed retaining wall will be terraced and landscaped and will provide more visual interest than a single large retaining wall. The terraces will reinforce and stabilize the existing embankment, integrate with the site design, provide a transition in grade from Uplands Drive to the development's grade, and conceal the parkade structure.

Staff support the proposed fence or retaining wall height variance.

Landscaping Regulations

The Zoning Bylaw requires that utility kiosks, dumpsters, containers, and similar large receptacles be fully screened on three sides by masonry walls and landscaping. The proposed Allan Block development does not include masonry walls surrounding its refuse receptacles, but will include landscaping.

Typically, refuse receptacles are dumpsters or garbage bins where permanent screening is desired. The proposed development will include an innovative waste container and disposal system, with waste contained in-ground beneath the receptacle. The container design has an attractive wood panel exterior to alleviate the need for masonry wall. Landscaping will screen the receptacles from the buildings and from adjacent walkways.

Staff support the proposed landscaping variance.

SUMMARY POINTS

- Development Permit Application No. DP1119 proposes a 251-unit rental housing development consisting of three four-storey buildings at 4800 Uplands Drive and 6035 Linley Valley Drive.
- The proposed development meets the General Development Permit Area Design Guidelines and complements the existing character of the Longwood neighbourhood.
- All existing covenant requirements have been addressed by this development proposal.
- Staff support the proposed variances.

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Location Plan
ATTACHMENT C: Site Plan
ATTACHMENT D: Parking Plans
ATTACHMENT E: Building Elevations
ATTACHMENT F: Building Renderings
ATTACHMENT G: Landscape Plan and Details
ATTACHMENT H: Retaining Wall/Allan Block Detail
ATTACHMENT I Aerial Photo |

Submitted by:

L. Rowett, Manager
Current Planning |

Concurrence by:

D. Lindsay, Director
Community Development |

ATTACHMENT A PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

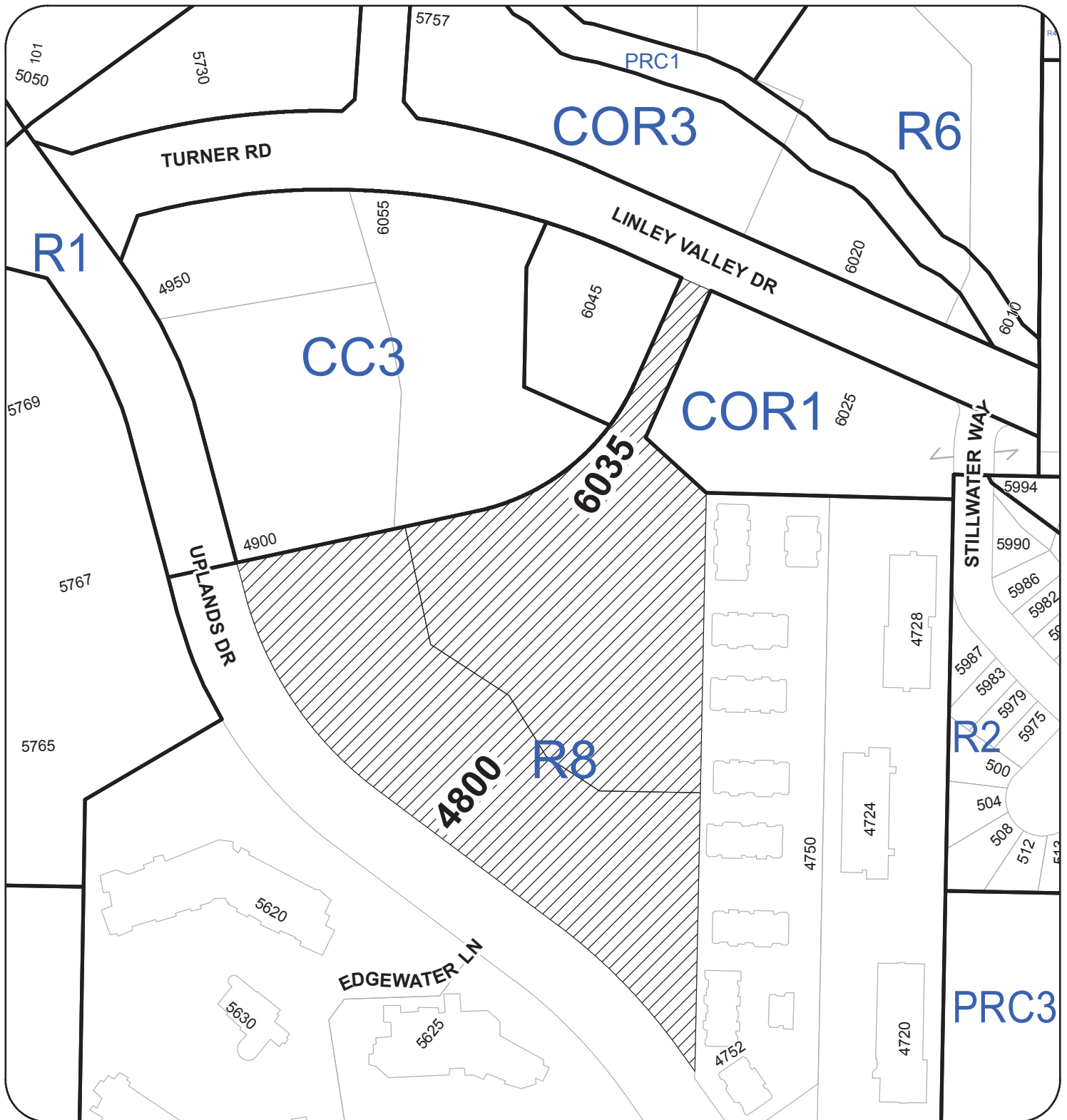
The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height from 14m to 16.62m.
2. *Section 6.10.2 Fence Height* – to increase the maximum fence height for proposed landscaped terraced retaining walls within the front yard setback from 1.2m to 1.5m.
3. *Section 17.3.3.1 Slopes, Urban Plazas, and Refuse Receptacles* – to reduce the landscape screening requirement for the proposed in-ground refuse receptacles to eliminate the requirement for masonry walls.

CONDITIONS OF PERMIT

1. The subject property is developed in substantial compliance with the Site Plan prepared by Harper Architecture & Design Inc., dated 2019-MAY-01 as shown on Attachment C.
2. The subject property is developed in substantial compliance with the Parking Plans prepared by Harper Architecture & Design Inc., dated 2019-MAY-01 as shown on Attachment D.
3. The subject property is developed in substantial compliance with the Building Elevations prepared by Harper Architecture & Design Inc., dated 2019-MAY-01 as shown on Attachment E.
4. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by MacDonald Gray Consultants, received 2019-MAY-03 as shown on Attachment G.
5. The subject property is developed in substantial compliance with the Retaining Wall/Allan Block Details prepared by Lewkowich Engineering Associates Ltd., dated 2019-JAN-25 as shown on Attachment H.
6. Consolidation of the two subject properties (4800 Uplands Drive and 6035 Linley Valley Drive) will be required prior to building permit issuance.

ATTACHMENT B
LOCATION PLAN



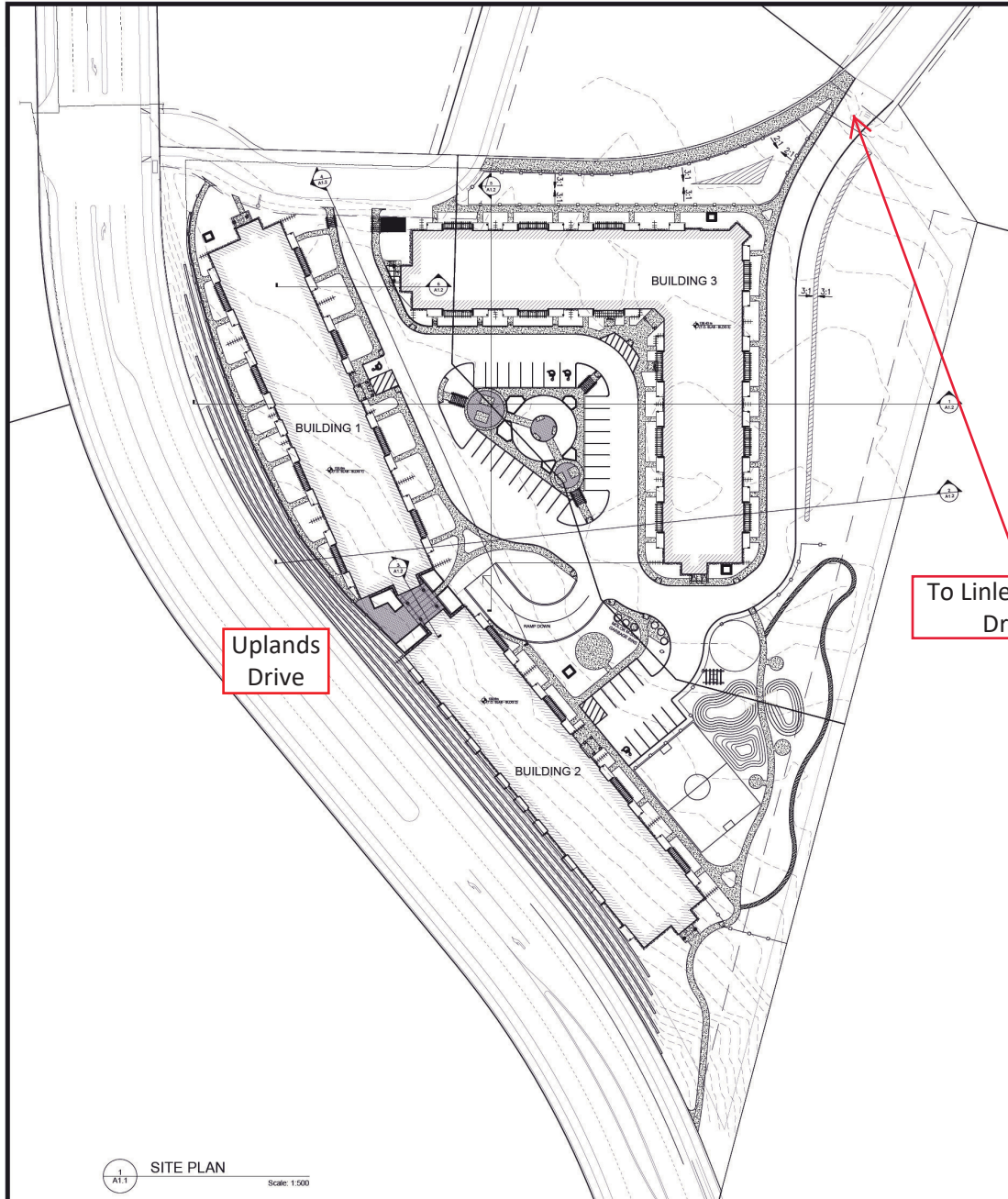
DEVELOPMENT PERMIT NO. DP001119

LOCATION PLAN

Civic: 4800 UPLANDS DRIVE & 6035 LINLEY VALLEY DRIVE
Legal: LOT 4, DISTRICT LOT 14, AND LOT 5, DISTRICT LOTS 14 & 30,
WELLINGTON DISTRICT, PLAN VIP65104



ATTACHMENT C SITE PLAN



Uplands Drive

To Linley Valley Drive

LEGAL / MUNICIPAL ADDRESS
 LOTS 4&5, UPLANDS DRIVE - NANAIMO

ZONING DISTRICT R8
MAX BUILDING HEIGHT 14m (FLAT ROOF OR VARIANCE FOR PODIUM)
VARIANCE FOR DECORATIVE DORMERS.

BUILDING SETBACK
 FRONT YARD 6m
 SIDE YARD 3m
 REAR YARD 10.5m

SITE COVERAGE 40% (21% PROPOSED)
 SITE AREA = 27,940m²
 FLOOR AREA = 5955m² (1686x2 + 2583)

FLOOR AREA RATIO MAX 1.25:1 (0.85% PROPOSED)

DENSITY 251 UNITS PROPOSED
 DENSITY 90 UpHa / 36 UpA

OFF STREET PARKING 1.07 STALLS PER ONE BEDROOM UNIT &
 1.44 PER 2 BEDROOM = 337 REQUIRED
 (MIN 90% U.G. = 303)
 TOTAL STALLS PROVIDED = 350
 INCL 312 U.G. (INCL 101 COMPACT STALLS)
 INCL 38 SURFACE (INCL 1/22 VISITOR = 17)

PARKING REQUIREMENTS ARE BASED ON
 PARKING BYLAW No. 7266

BIKE STALLS 126 UNDERGROUND
 32 ABOVE GROUND
 TOTAL: 158

DEVELOPMENT SUMMARY

BUILDINGS 1 & 2: (EACH BUILDING)
 51 - 2 BED 2 BATH UNITS
 (70 UNITS +GYM) 3 - 2 BED 1 BATH UNITS
 16 - 1 BED 1 BATH UNITS

BUILDING 3: 75 - 2 BED 2 BATH UNITS
 (111 UNITS+GYM) 4 - 2 BED 1 BATH UNITS
 32 - 1 BED 1 BATH UNITS

251 UNITS TOTAL: 177 - 2 BED 2 BATH UNITS
 10 - 2 BED 1 BATH UNITS
 64 - 1 BED 1 BATH UNITS

BUILDING 1: 1699 m² FOOTPRINT
 6753 m² GROSS FLOOR AREA

BUILDING 2: 1699 m² FOOTPRINT
 6753 m² GROSS FLOOR AREA

BUILDING 3: 2610 m² FOOTPRINT
 10403 m² GROSS FLOOR AREA

23,909 m² TOTAL GROSS FLOOR AREA



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ISSUE	
NO.	DATE
1.	CONSULTANT COORDINATION 2018-09-13
2.	D.P. APPLICATION 2018-09-19
3.	CONSULTANT COORDINATION 2018-10-19
4.	RENDERING 2018-11-20
5.	CONSULTANT COORDINATION 2018-12-08
6.	CONSULTANT COORDINATION 2018-12-13
7.	D.P. APPLICATION 2018-12-18
8.	CONSULTANT COORDINATION 2018-12-18
9.	CONSULTANT COORDINATION 2018-01-09
10.	CONSULTANT COORDINATION 2018-01-10
11.	PROGRESS COORDINATION 2018-01-20
12.	TENDER 2018-01-29
13.	ADDENDUM 2018-02-07
14.	BUILDING PERMIT 2018-03-11
15.	D.P. APPLICATION REV. 2018-05-01

REFER TO LANDSCAPING PLANS
 AND CIVIL PLANS FOR DETAILS.



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PROJECT:
MULTI-RESIDENTIAL APT.
 4800 UPLANDS DRIVE, (LOTS 4 & 5)
 NANAIMO, BRITISH COLUMBIA

DRAWING TITLE
SITE PLAN

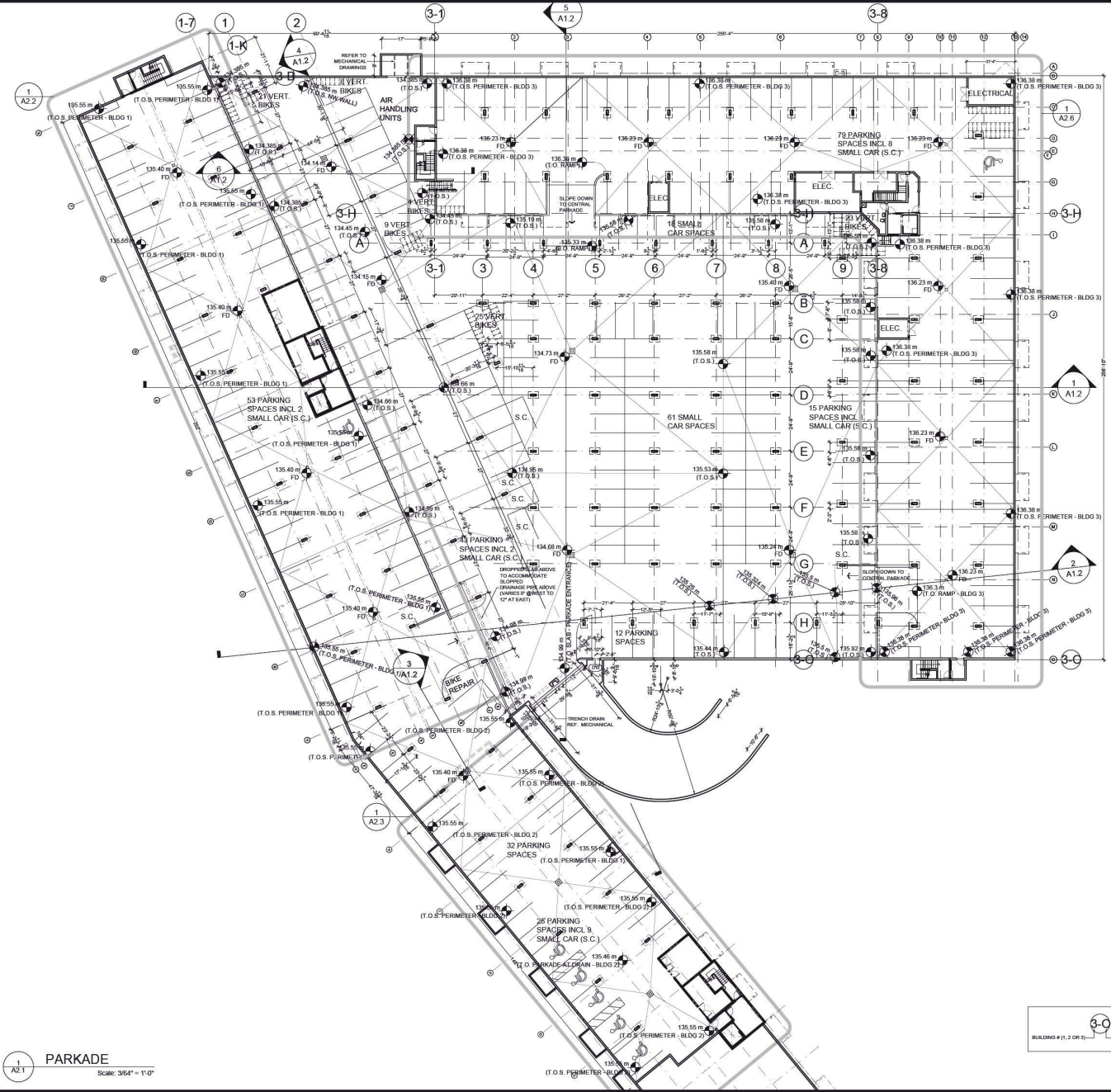
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SITE PLAN
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ATTACHMENT D PARKING PLANS



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PARKADE
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3-C
BUILDING # (1, 2 OR 3) # OR LETTER SPECIFIC TO BUILDING GRID LINES

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3.	CONSULTANT COORDINATION	2019 10 19
4.	RENDERING	2019 11 20
5.	CONSULTANT COORDINATION	2019 12 09
6.	CONSULTANT COORDINATION	2019 12 13
7.	D.P. APPLICATION	2019 12 18
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9.	CONSULTANT COORDINATION	2019 01 09
10.	CONSULTANT COORDINATION	2019 01 16
11.	PROGRESS COORDINATION	2019 01 28
12.	TRUCKER	2019 01 29
13.	ADDENDUM	2019 02 07
14.	BUILDING PERMIT	2019 03 11
15.	D.P. APPLICATION REV.	2019 05 01



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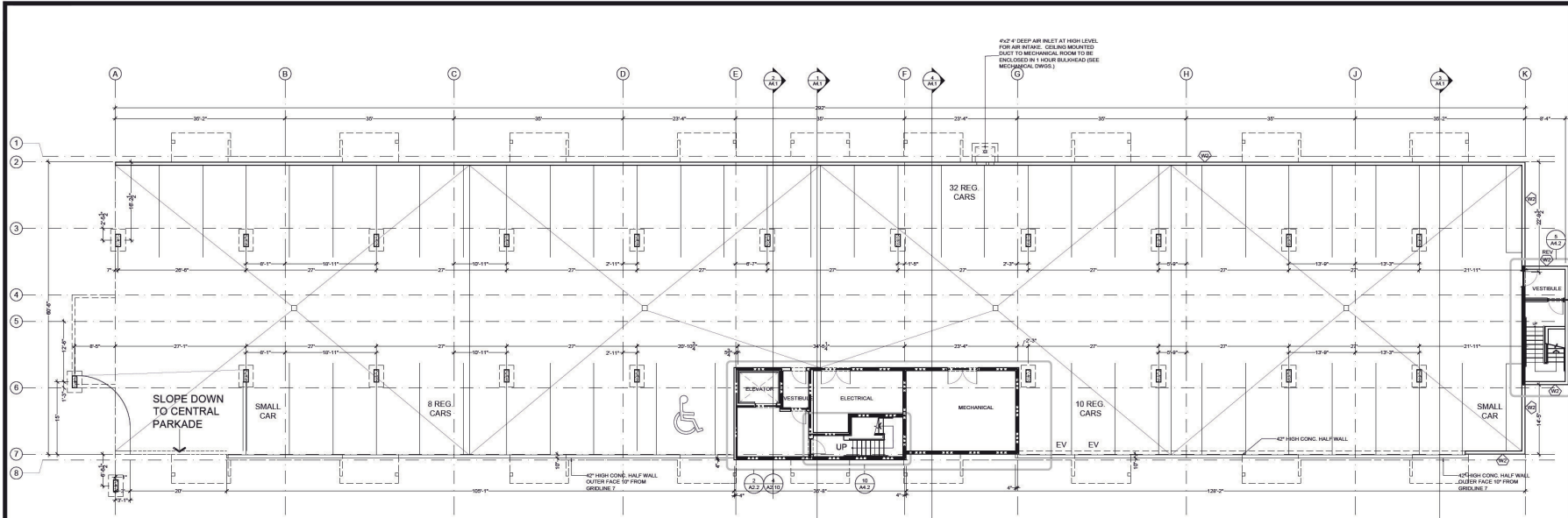
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PROJECT: **MULTI-RESIDENTIAL APT.**
4800 UPLANDS DRIVE, (LOTS 4 & 5)
VANANCO, BRITISH COLUMBIA

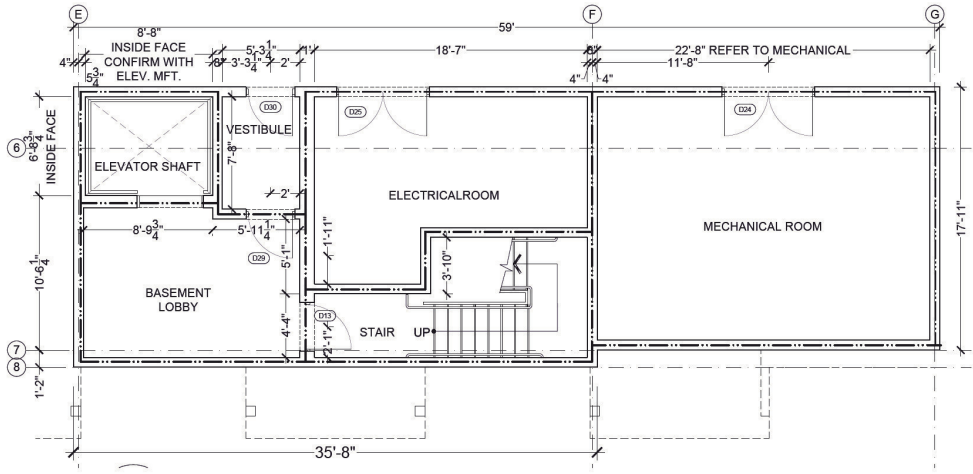
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PARKADE FLOOR PLAN CORE
Scale: 1/4" = 1'-0"

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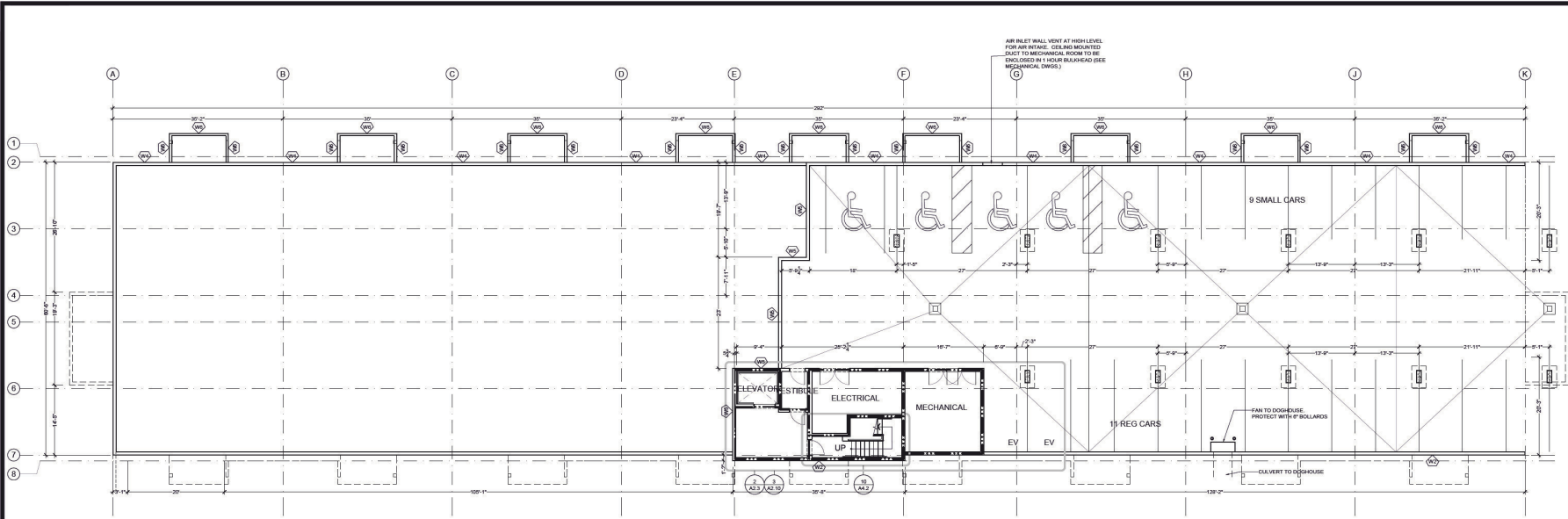
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VANANCO, BRITISH COLUMBIA

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BUILDING 2**

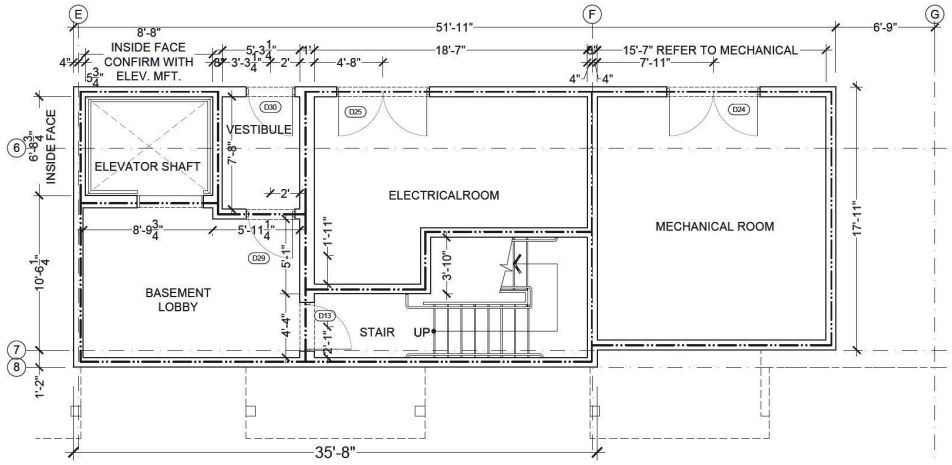
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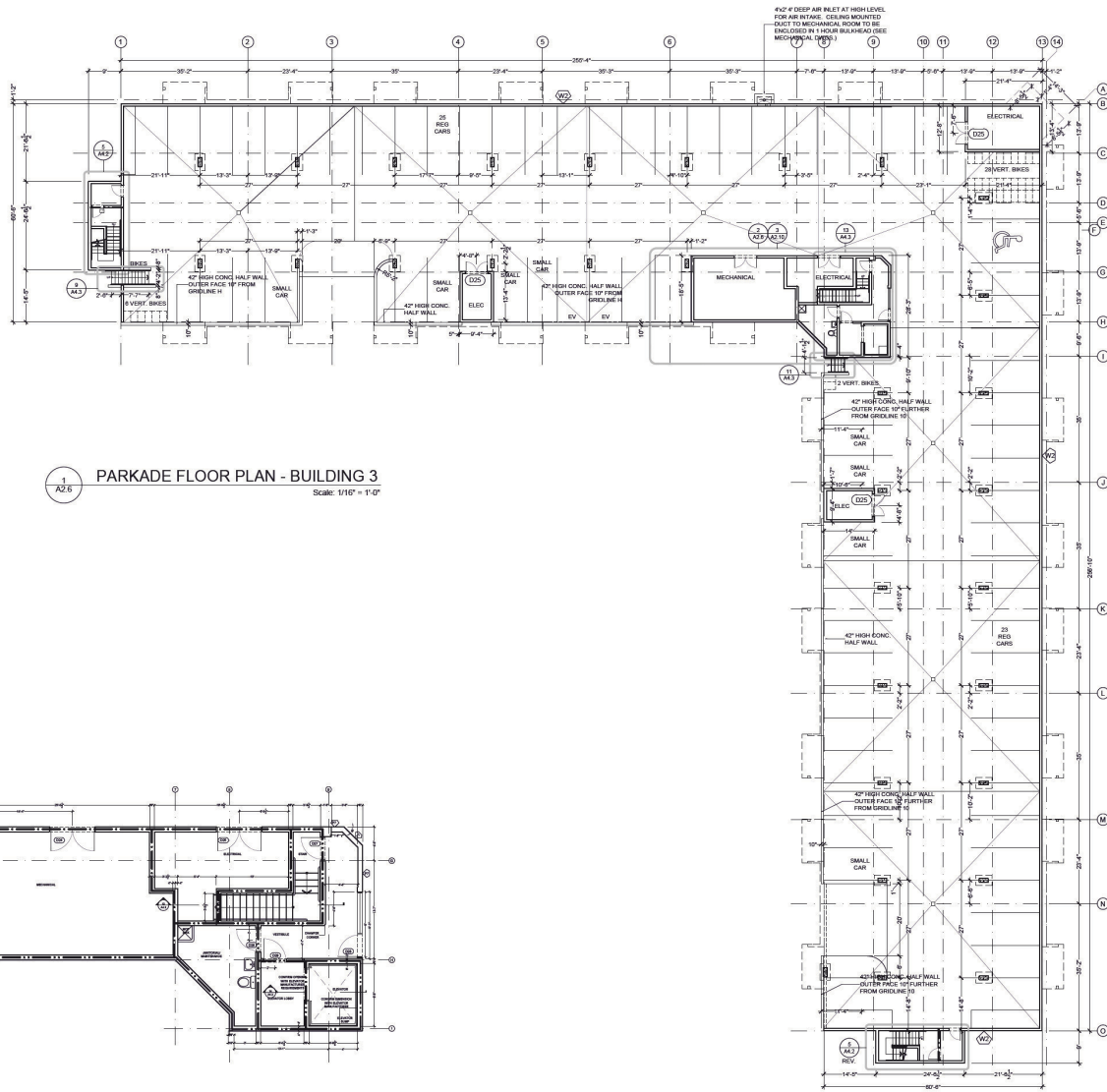
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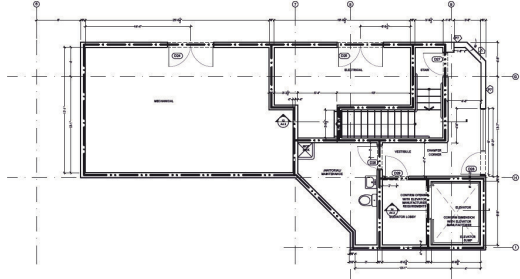
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2 HOUR FIRE SEPARATION



1 PARKADE FLOOR PLAN - BUILDING 3
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2 PARKADE FLOOR PLAN - BUILDING 3
Scale: 1/8" = 1'-0"



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**PARKADE FLOOR PLAN
BUILDING 3**

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ATTACHMENT E BUILDING ELEVATIONS

LEGEND:

	WOOD SHINGLE - STAINED AND SEALED WITH SPIKERS		JAMES HARDIE - HARDEPLANK LAP SIDING (1" x 7" x 1/2")
	JAMES HARDIE - HARDEPLANK BATTERS		JAMES HARDIE - HARDEPLANK LAP SIDING (1" x 7" x 1/2")
	ARCTIC WHITE		JAMES HARDIE - HARDEPLANK LAP SIDING (1" x 7" x 1/2")
	JAMES HARDIE - HARDEPLANK SHINGLE PROFILE		JAMES HARDIE - HARDEPLANK LAP SIDING (1" x 7" x 1/2")
	CLAY TONED STONE		JAMES HARDIE - HARDEPLANK LAP SIDING (1" x 7" x 1/2")
	COUNTRY LEDGESTONE		JAMES HARDIE - HARDEPLANK LAP SIDING (1" x 7" x 1/2")
	EMERALD GREEN		JAMES HARDIE - HARDEPLANK LAP SIDING (1" x 7" x 1/2")

NOTE:
RAIN WATER LEADERS ARE TO COLOUR MATCH CLADDING BEHIND
EXHAUST VENTS ARE TO COLOUR MATCH CLADDING BEHIND
HEIGHT VARIANCE FOR DECORATIVE ROOF DORMERS AS PER IFC RECOMMENDATIONS

ISSUE

NO.	PURPOSE	DATE
1.	CONSULTANT COORDINATION	2019 09 13
2.	D.P. APPLICATION	2019 09 19
3.	CONSULTANT COORDINATION	2019 10 19
4.	REVISIONS	2019 11 20
5.	CONSULTANT COORDINATION	2019 12 06
6.	CONSULTANT COORDINATION	2019 12 13
7.	D.P. APPLICATION	2019 12 18
8.	CONSULTANT COORDINATION	2019 12 19
9.	CONSULTANT COORDINATION	2019 01 09
10.	CONSULTANT COORDINATION	2019 01 16
11.	PROGRESS COORDINATION	2019 01 20
12.	TENDER	2019 01 28
13.	ADDENDUM	2019 01 27
14.	BUILDING PERMIT	2019 05 11
15.	D.P. APPLICATION REV.	2019 05 01

Northview
APARTMENT REIT

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F: (403) 433-3773
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200, 87th St Street
CALGARY, ALBERTA
T2N 1K6

1 FRONT ELEVATION
Scale: 3/32" = 1'-0"
Grids: A-K, 1-12

2 REAR ELEVATION
Scale: 3/32" = 1'-0"
Grids: 1-8

3 SIDE ELEVATION
Scale: 3/32" = 1'-0"
Grids: 1-8

4 SIDE ELEVATION
Scale: 3/32" = 1'-0"
Grids: 1-8

5 CENTRAL ELEVATION
Scale: 1/8" = 1'-0"
Grids: E-F, 1-2

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OTTAWA, ON (613) 296-1725

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CHECKED: -
DATE PRINTED: -
DATE: -

PROJECT: MULTI-RESIDENTIAL APT.
4800 UPLANDS DRIVE, (LOTS 4 & 5)
VANANCO, BRITISH COLUMBIA

DRAWING TITLE: ELEVATION BUILDING 1

SCALE: AS NOTED
PROJECT NO.: 1757
DRAWING NO.: A3.1

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DP 1119
2019-MAY-03
ARCHITECTURAL

LEGEND:

	WOOD SOFFIT		JAMES HARDIE - HARDERPLANK
	STAINED AND SEALED WITH SIKERSEAL		LAP SIDING 8" (7.125")
	JAMES HARDIE - HARDERPLANK		DEEP OCEAN
	BATTERS		LAP SIDING
	ARCTIC WHITE		BOATHOUSE BLUE
	JAMES HARDIE - HARDERPLANK SINGLE PROFILE COLOUR T10		LAP SIDING 8" (7.125")
	COLOR T10 STONE		ROCK GRAY
	COUNTRY LEDGESTONE		LAP SIDING COLOUR T10
	EMERALD CREEK		

NOTE:
 IRON WATER LEADERS ARE TO COLOUR MATCH CLADDING BEHIND.
 EXACT SHIFTS ARE TO COLOUR MATCH CLADDING BEHIND.
 HEIGHT VARIANCE FOR DECORATIVE ROOF DORMERS AS PER ICF RECOMMENDATIONS.

ISSUE

NO.	PURPOSE	DATE
1.	CONSULTANT COORDINATION	2019 09 13
2.	D. P. APPLICATION	2019 09 19
3.	CONSULTANT COORDINATION	2019 09 19
4.	REVISIONS	2019 11 30
5.	CONSULTANT COORDINATION	2019 12 05
6.	CONSULTANT COORDINATION	2019 12 13
7.	D. P. APPLICATION	2019 12 18
8.	CONSULTANT COORDINATION	2019 12 19
9.	CONSULTANT COORDINATION	2019 01 09
10.	CONSULTANT COORDINATION	2019 01 18
11.	PROGRESS COORDINATION	2019 01 23
12.	TENDER	2019 01 23
13.	ADDENDUM	2019 02 07
14.	BUILDING PERMIT	2019 03 11
15.	D. P. APPLICATION REV.	2019 05 01



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FRONT ELEVATION
 Scale: 3/32" = 1'-0"



REAR ELEVATION
 Scale: 3/32" = 1'-0"



CENTRAL ELEVATION
 Scale: 1/8" = 1'-0"



SIDE ELEVATION
 Scale: 3/32" = 1'-0"



SIDE ELEVATION
 Scale: 3/32" = 1'-0"



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 CHECKED: -
 DATE PRINTED: -
 DATE: -

PROJECT:
 MULTI-RESIDENTIAL APT.
 4800 UPLANDS DRIVE, (LOTS 4 & 5)
 VANANCO, BRITISH COLUMBIA

DRAWING TITLE:
 ELEVATION
 BUILDING 2
 RECEIVED
 DP1119
 2019 MAY 03

SCALE:
 AS NOTED

PROJECT NO:
 1757

A3.2

ARCHITECTURAL



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ISSUE

NO.	PURPOSE	DATE
1.	CONSULTANT COORDINATION	2018 09 11
2.	D.P. APPLICATION	2018 09 19
3.	CONSULTANT COORDINATION	2018 10 18
4.	RENDERING	2018 11 30
5.	CONSULTANT COORDINATION	2018 12 28
6.	CONSULTANT COORDINATION	2018 12 13
7.	D.P. APPLICATION	2018 12 14
8.	CONSULTANT COORDINATION	2018 12 19
9.	CONSULTANT COORDINATION	2018 01 09
10.	CONSULTANT COORDINATION	2018 01 16
11.	PROGRESS COORDINATION	2018 01 25
12.	TENDER	2018 01 25
13.	ADDENDUM	2018 02 07
14.	BUILDING PERMIT	2018 03 11
15.	D.P. APPLICATION REV.	2018 05 01

LEGEND:

- WOOD SHIPIT STAINED AND SEALED WITH SIKING
- JAMES HARVEY - HARDEPLANK SATTERS WHITE
- JAMES HARVEY - HARDEPLANK COLOUR TRD
- OLDFIELD STONE COUNTRY LEDGESTONE JAMES CREEK
- JAMES HARVEY - HARDEPLANK LAMP BRUSH (P, P, 19 SH)
- JAMES HARVEY - HARDEPLANK LAMP BRUSH (P, P, 19 SH) MOON GRAY
- JAMES HARVEY - HARDEPLANK COLOUR TRD

NOTE:
RAIN WATER LEADERS ARE TO COLOUR MATCH CLADDING BEHIND.
EXHAUST VENTS ARE TO COLOUR MATCH CLADDING BEHIND.

HEIGHT VARIANCE FOR BUILDING ROOF EXCEEDS AS PER LMP RECOMMENDATIONS



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DO NOT SCALE THE DRAWINGS.

DATE: TH SA
CHECKED: -
DATE PRINTED: -
DATE: -

PROJECT: MULTI-RESIDENTIAL APT.
4800 UPLANDS DRIVE, (LOTS 4 & 5)
VANANCO, BRITISH COLUMBIA

ISSUED TITLE: ELEVATIONS BUILDING 3 RECEIVED DP 1119

DATE: 2019 MAY 03

SCALE: 3/32" = 1'-0"

PROJECT NO: 1757

A3.3

ARCHITECTURAL



1
A3.4 BUILDING 3 ENTRY (OBLIQUE VIEW)
Scale: 1/8" = 1'-0"



2
A3.4 BUILDING 3 END BALCONY (OBLIQUE VIEW)
Scale: 1/8" = 1'-0"



3
A3.4 BUILDING 3 REAR ELEVATION (OBLIQUE VIEW)
Scale: 1/8" = 1'-0"



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ISSUE		
NO.	PURPOSE	DATE
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2.	D.P. APPLICATION	2018 09 18
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11.	PROGRESS COORDINATION	2018 03 25
12.	TENDER	2018 04 25
13.	ADDENDUM	2018 03 07
14.	BUILDING PERMIT	2018 03 11
15.	D.P. APPLICATION REV.	2018 05 01

- LEGEND:
- WOOD SHIPIT STAINED AND SEALED
 - JAMES HARESE - HARDEPLANK SATTINGS
 - JAMES HARESE - HARDEPLANK SATTINGS WHITE
 - JAMES HARESE - HARDEPLANK COLOURED TILE
 - CULTURED STONE COUNTRY LEDGESTONE
 - CAMBER GREEN
 - JAMES HARESE - HARDEPLANK LAP SIDING (PT. 7, 10, 11)
 - JAMES HARESE - HARDEPLANK LAP SIDING DEEP OCEAN
 - JAMES HARESE - HARDEPLANK LAP SIDING
 - MOONBEAM BLUE
 - JAMES HARESE - HARDEPLANK LAP SIDING (PT. 7, 10, 11)
 - IRON GRAY
 - JAMES HARESE - HARDEPLANK LAP SIDING COLOUR TID

NOTE:
RAIN WATER LEADERS ARE TO COLOUR MATCH CLADDING BEHIND
EXHAUST VENTS ARE TO COLOUR MATCH CLADDING BEHIND

HEIGHT VARIANCE FOR INCORPORATE ROOF DORMERS AS PER OAP RECOMMENDATIONS



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PROJECT: MULTI-RESIDENTIAL APT.
4800 UPLANDS DRIVE, (LOTS 4 & 5)
VANANCO, BRITISH COLUMBIA

DRAWING TITLE: ELEVATIONS BUILDING 3
RECEIVED
DP 1119
SCALE: 1/8" = 1'-0"
PROJECT NO: 1757
ARCHITECTURAL

ATTACHMENT F BUILDING RENDERINGS

RENDERINGS









ATTACHMENT G LANDSCAPE PLAN AND DETAILS



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4800 Uplands Drive & 6035 Linley Valley Drive
Northview Apartments REIT
Nanaimo, BC

LANDSCAPE ARCHITECTURE SITE PLAN

Date: May 2, 2019
 Drawn: CW
 Checked: NG
 Scale: 1:250 metric
 Project Number: 18-0212
 Drawing Number: L1 of 15

#	Date	NOTES
0	14SEP2018	Coordination Review
1	21SEP2018	Issued for BP
2	17DEC2018	DAP Revisions
3	11JAN2019	Tender Review
4	24JAN2019	Issued for Tender
5	07FEB2019	Addendum #1
6	15FEB2019	Issued for BP
7	03MAY2019	Revised for BP

LANDSCAPE ARCHITECTURE SITE PLAN NOTES

- ALL HARD AND SOFT LANDSCAPE MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD SECTION 1.4, TABLE 1-1 & 2, MAINTENANCE LEVELS - LEVEL 2: GROOMED.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL FIELD ADJUSTMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TRADES SHALL COORDINATE WORK SO PROGRESS OF WORK IS NOT INTERRUPTED AND CAN BE COMPLETED IN A TIMELY MANNER.
- ALL DIMENSIONS ARE TO THE EDGE OF HARDSCAPE INSTALLATIONS, BACK OF CURB OR CENTRE POINT OF RADIUS.
- NEW HARDSCAPE INSTALLATIONS SHALL MEET GRADE OF EXISTING SURFACES.
- IRRIGATION SLEEVING SHALL BE INSTALLED PRIOR TO PLACING HARDSCAPE SURFACING AND POURING CONCRETE WALLS, REFER TO IRRIGATION PLAN.
- REFER TO PROJECT DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL MATERIALS AND FINISHES SHALL PER PER THE DRAWINGS, DETAILS AND SPECIFICATIONS. SOME MATERIALS MAY REQUIRE WEEKS FOR ORDER LEAD TIME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL ORDERING LEAD TIMES AND PROVIDING REQUIRED MATERIALS AT THE PROJECT SITE IN A TIMELY MANNER. NO UNAPPROVED SUBSTITUTIONS WILL BE ACCEPTED.
- THE LANDSCAPE ARCHITECT CANNOT PROVIDE ASSURANCES FOR WORK WITHOUT THE FOLLOWING FIELD REVIEW ATTENDANCE:
 - CONSTRUCTION START-UP MEETING.
 - REVIEW OF ROUGH GRADES AND SUB BASE PREPARATION FOR EXTERIOR SURFACES AND PLANTING AREAS.
 - MATERIALS REVIEW AND APPROVAL PRIOR TO PURCHASE (IE: INORGANIC LANDSCAPE MATERIALS).
 - REVIEW OF SHOP DRAWINGS.
 - REVIEW OF INSTALLED EXTERIOR SURFACES AND STRUCTURES.

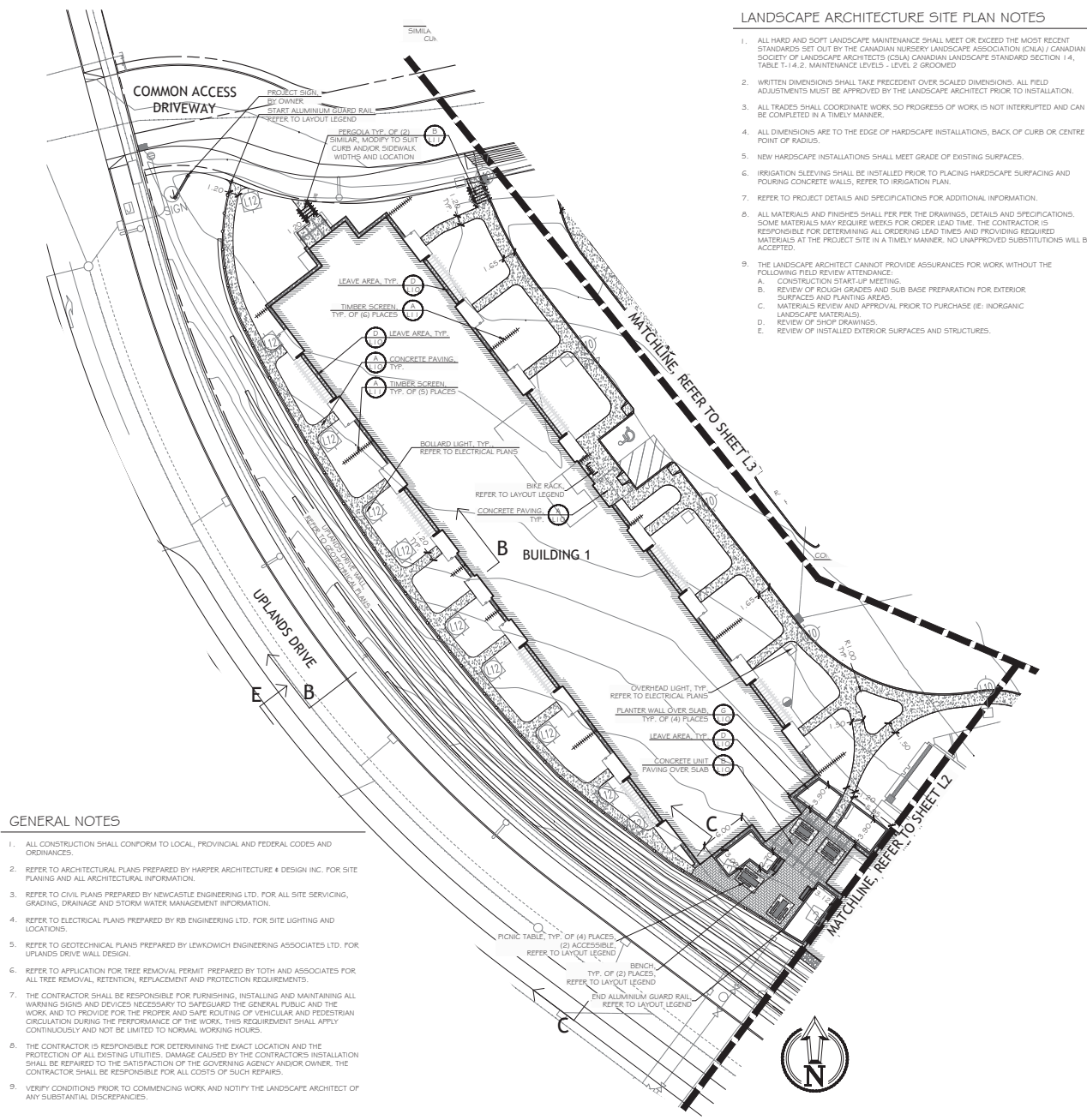
LAYOUT LEGEND

ABBREVIATIONS	DESCRIPTION
(E)	EXISTING
E	PROPERTY LINE
ROW	RIGHT-OF-WAY
TYP.	TYPICAL
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	EXISTING TIMBER FENCING TO REMAIN
---	(2) RAIL CONCRETE FENCE MANUFACTURER: ARTISAN PRECAST (PH: 800-511-2747) STYLE: WOODCRETE RAIL MODEL: 2 RAIL FENCE COLOUR: BROWN
---	1.6m TIMBER SCREEN
---	1.07m (42") ALUMINUM GUARDRAIL, PICKETS AND COLOUR TO MATCH ARCHITECTURAL RAILINGS, REFER TO SAMPLE ON SHEET L15
---	ALUMINUM GATE MANUFACTURER: WESTCOAST CUSTOM GATES (PH: 250-248-2840) STYLE: 30 COLOUR: SANTEX BLACK QTY (2) 4' x 4' x 1/8" (1.00mm) METAL POSTS WITH CAPS, (2) TRUCLOSE REGULAR HINGES AND MAGNADATCH SIDE RULL PLANTER WALL OR RETAINING WALL, REFER TO SITE PLAN
---	CONCRETE PAVING, BROOM FINISH REFER TO CIVIL PLANS FOR CONCRETE PAVING DETAILS ASSOCIATED WITH CURBING.
---	LEAVE AREA
---	CRUSHED AGGREGATE SURFACE
---	CONCRETE UNIT PAVING MANUFACTURER: ABBOTSFORD CONCRETE (PH: 800-5663-4091) STYLE: CLASSIC STANDARD SERIES PATTERN: DOUBLE STANDARD - STANDARD 1 WITH STANDARD SOLDIER COURSE COLOUR: SAND / BROWN BLEND WITH CHARCOAL SOLDIER COURSE
---	FERGOLA
---	BENCH MANUFACTURER: WISHBONE SITE FURNISHINGS (PH: 800-626-0476) STYLE: AVLESBURY PARK BENCH MODEL: ANA-6 COLOUR: HARBOUR GREY SLATS, LAKESIDE TEXTURED SAND FRAME QTY: 7 SURFACE MOUNT ON 2.0m x 0.6m BROOM FINISH CONCRETE PAD
---	PICNIC TABLE MANUFACTURER: WISHBONE SITE FURNISHINGS STYLE: BAYVIEW PICNIC TABLE MODEL: BWT-4 & BWTWC-8 (WHEELCHAIR ACCESSIBLE) COLOUR: HARBOUR GREY SLATS, LAKESIDE TEXTURED SAND FRAME QTY: 1 (5 WHEELCHAIR ACCESSIBLE) SURFACE MOUNT ON 3.0m x 2.25m BROOM FINISH CONCRETE PAD OR BENCH NODE, REFER TO SITE PLAN
---	GAMES TABLE MANUFACTURER: DU MOR (PH: 800-598-4018) STYLE: SQUARE GAME TABLE WITH (4) SEATS MODEL: 78-34PL WITH 5-2 MOUNT COLOUR: GREY SLATS, BRONZE FRAME QTY: 2 SURFACE MOUNT ON 2.35m x 2.35m BROOM FINISH CONCRETE PAD
---	6 - 8 STALL BIKE RACK MANUFACTURER: CORA (PH: 800-739-4609) STYLE: MULTI-RACK MODEL: WSBS COLOUR: MOON LIGHT SILVER QTY: 4 SURFACE MOUNT 600mm FROM WALL
---	SWING SET MANUFACTURER: HENDERSON RECREATION EQUIPMENT LTD. (PH: 800-265-5462) STYLE: 2-BAY 8FT ARCH SWING WITH (2) BELT SEATS AND (2) BABY SEATS MODEL: SW340 CW (2) 55043 AND (2) 55042 COLOUR: TAN
---	FIBER PLAY AREA SURFACING MANUFACTURER: FIBAR PLAYGROUND SURFACES (PH: 800-342-2721) MODEL: FIBAR SYSTEM 300 INSTALL PER MANUFACTURER'S RECOMMENDATIONS
---	LOW-LEVEL LED PATHWAY BOLLARD LIGHTING
---	PARKING LOT (PULL OUT OFF, LED PLAT LENS) LIGHTING
---	WALL LIGHTS: FERGOLA PLANTER WALLS REFER TO ELECTRICAL ENGINEERING PLANS FOR MAKES, MODELS AND ELECTRICAL REQUIREMENTS

GRADING LEGEND - PLAY AREA

SYMBOL	DESCRIPTION
---	PROPOSED 0.5m CONTOUR
---	FINISHED SURFACE
---	FINISHED GRADE
---	HIGH POINT
---	LOW POINT
---	MATCH EXISTING
---	DRAINAGE DIRECTION AND SLOPE

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2019-MAY-03
Current Planning

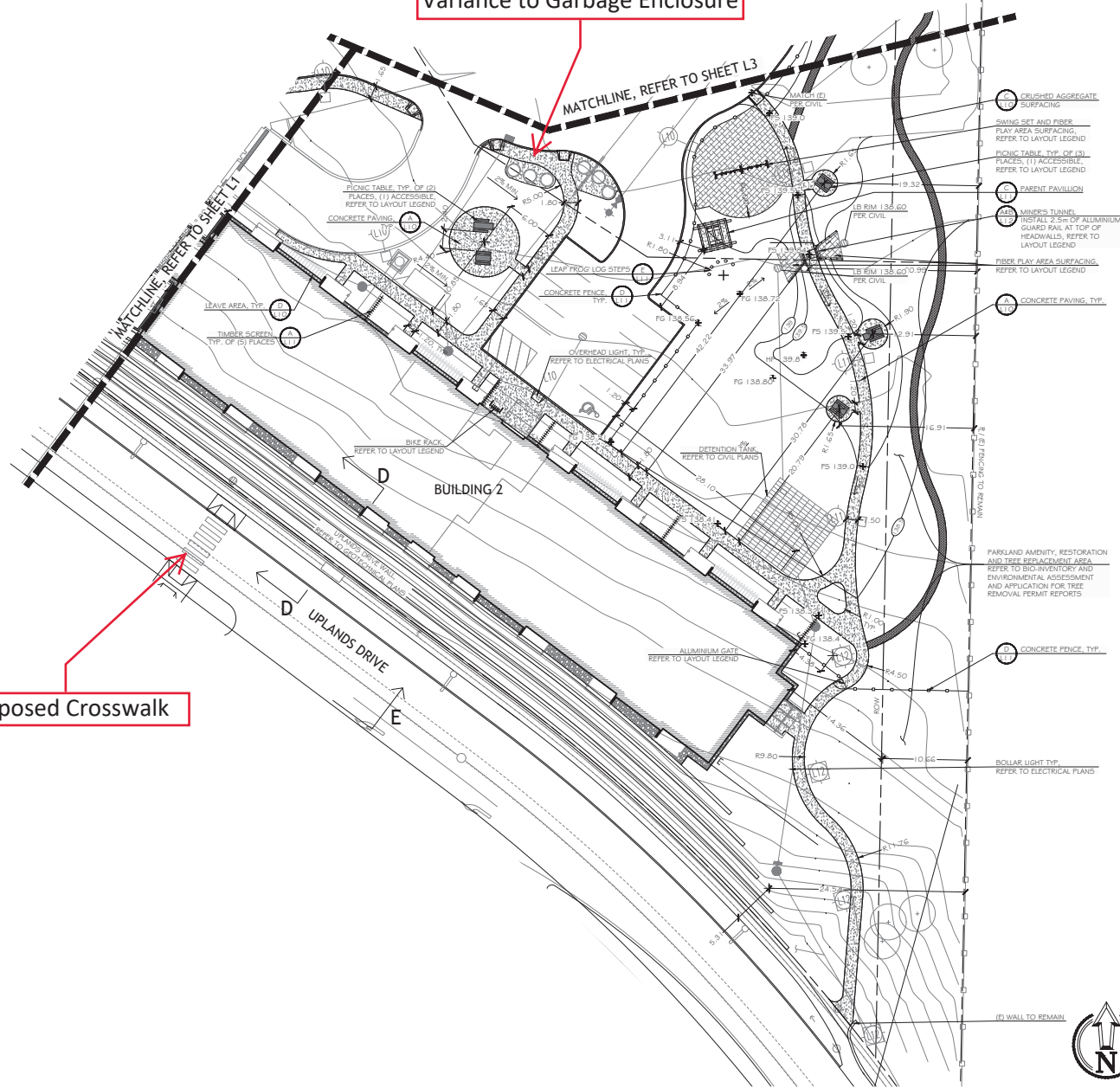


GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, PROVINCIAL AND FEDERAL CODES AND ORDINANCES.
- REFER TO ARCHITECTURAL PLANS PREPARED BY HARPER ARCHITECTURE 4 DESIGN INC. FOR SITE PLANNING AND ALL ARCHITECTURAL INFORMATION.
- REFER TO CIVIL PLANS PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ALL SITE SERVICING, GRADING, DRAINAGE AND STORM WATER MANAGEMENT INFORMATION.
- REFER TO ELECTRICAL PLANS PREPARED BY RB ENGINEERING LTD. FOR SITE LIGHTING AND LOCATIONS.
- REFER TO GEOTECHNICAL PLANS PREPARED BY LEWKOVICH ENGINEERING ASSOCIATES LTD. FOR UPLANDS DRIVE WALL DESIGN.
- REFER TO APPLICATION FOR TREE REMOVAL PERMIT PREPARED BY TOBH AND ASSOCIATES FOR ALL TREE REMOVAL, RETENTION, REPLACEMENT AND PROTECTION REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, INSTALLING AND MAINTAINING ALL WARNING SIGNS AND DEVICES NECESSARY TO SAFEGUARD THE GENERAL PUBLIC AND THE PROTECTION OF ALL EXISTING UTILITIES. DAMAGE CAUSED BY THE CONTRACTOR'S INSTALLATION SHALL BE REPAIRED TO THE SATISFACTION OF THE GOVERNING AGENCY AND/OR OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF SUCH REPAIRS.
- VERIFY CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY SUBSTANTIAL DISCREPANCIES.

Proposed Landscaping
Variance to Garbage Enclosure

Proposed Crosswalk



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Nanaimo, BC

LANDSCAPE ARCHITECTURE
SITE PLAN

Date:	May 2, 2019
Drawn:	CW
Checked:	NG
Scale:	1:250 metric
Project Number:	18-0212
DRAWING NUMBER:	L2 of 15

#	REVISION	SCHEDULE	NOTES
0	14SEP2018	Coordination Review	
1	21SEP2018	Issued for DP	
2	17DEC2018	DAP Revisions	
3	11JAN2019	Tender Review	
4	24JAN2019	Issued for Tender	
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6	15FEB2019	Issued for BP	
7	03MAY2019	Revised for BP	

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2019-MAY-03



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Northview Apartments REIT
 Nanaimo, BC

LANDSCAPE ARCHITECTURE	
SITE PLAN	
Date:	May 3, 2019
Drawn:	CM
Checked:	NG
Project Number:	18-0212
DRAWING NUMBER:	L3 of 15

#	Date	NOTES
0	14SEP2018	Coordination Review
1	21SEP2018	Issued for DP
2	17DEC2018	DAP Revisions
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4	24JAN2019	Issued for Tender
5	01FEB2019	Addendum #1
6	15FEB2019	Issued for BP
7	03MAY2019	Reissued for BP

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DP1119
 2019-MAY-03

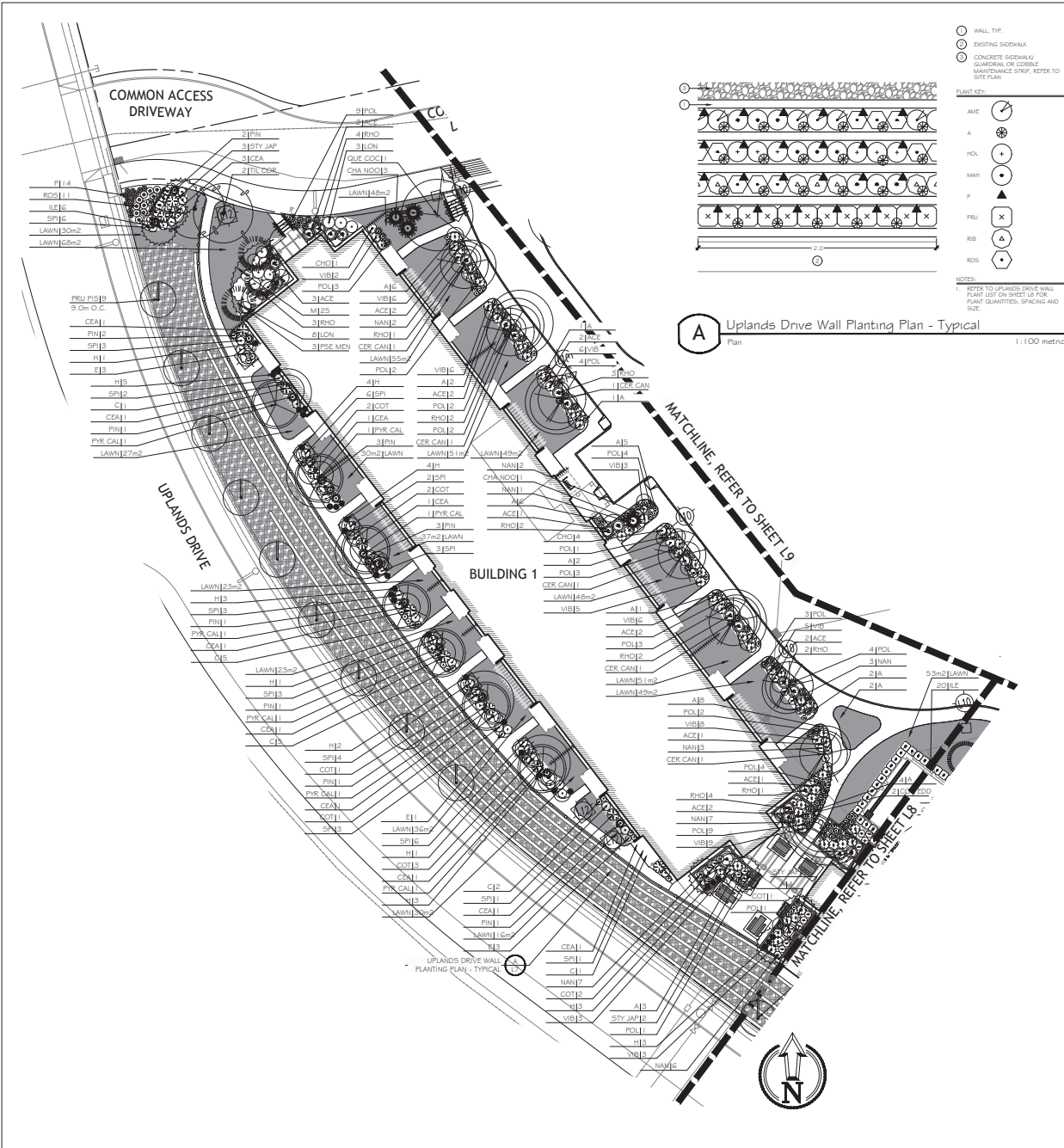


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4800 Uplands Drive & 6035 Linley Valley Drive
Northview Apartments REIT
Nanaimo, BC

PLANTING PLAN
Date: May 2, 2019
Drawn: CW
Checked: NG
Scale: 1:250 metric
Project Number: 18-0212
DRAWING NUMBER: L7 of 15

#	REVISION SCHEDULE	NOTES
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PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QUANTITY	NOTES
TREES					
CER CAN	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY REDBUD	5cm CAL.	SEE PLAN	14	
CHA NOD	CHAMAECYPARIS HOOKERIANUS 'PEDULA WEEPING ALASKA CEDAR	2.0m	SEE PLAN	16	
COR EDD	CORNUS 'EDDIE'S WHITE WONDER' EDDIE'S WHITE WONDER DOGWOOD	4cm CAL.	SEE PLAN	24	
GLE TRI	GLEDTISIA TRIANCANTHOS VAR. INERMIS SUNBURST HONEY LOCUST	5cm CAL.	SEE PLAN	4	
PIC ABI	PICEA ABIES 'CUPRESSINA' COLUMNAR NORWAY SPRUCE	2.0m	SEE PLAN	14	
PIN CON	PINUS CONTORTA VAR. CONTORTA SHORE PINE	2.0m	SEE PLAN	3	
PRU PIS	PRUNUS 'PISSARDI NIGRA' BLACK CHERRY PLUM	5cm CAL.	SEE PLAN	33	
PSE MEN	PSEUDOTSUGA MENZIESII DOUGLAS FIR	2.0m	SEE PLAN	6	
PYR CAL	PYRUS CALLERYANA 'REDSPIRE' REDSPIRE FLOWERING PEAR	5cm CAL.	SEE PLAN	7	
QUE COC	QUERCUS COCCINEA SCARLET OAK	5cm CAL.	SEE PLAN	4	
STY JAP	STYRAX JAPONICA JAPANESE SNOWBELL	4cm CAL.	SEE PLAN	15	
TIL COR	TILIA CORDATA LITTLE-LEAF LINDEN	5cm CAL.	SEE PLAN	9	
SHRUBS					
ACE	ACER CIRCINATUM VINE MAPLE	#5 POT	SEE PLAN	28	
CEA	CEANOTHUS THYRSIFLORUS 'VICTORIA' VICTORIA CALIFORNIA LILAC	#3 POT	1.5m O.C.	71	
CHO	CHOISYA TERNATA MEXICAN ORANGE	#2 POT	1.2m O.C.	48	
COT	COTINUS COCOGYRIA 'ANCOT' GOLDEN SPIRIT SMOKE BUSH	#5 POT	2.0m O.C.	28	
ILE	ILEX CRENATA 'CONVEK' JAPANESE HOLLY	#2 POT	1.0m O.C.	71	
LON	LONICERA NITIDA 'LEMON BEAUTY' LEMON BEAUTY BOX HONEYBUCKLE	#2 POT	1.5m O.C.	19	
NAN	NANDINA DOMESTICA 'MOON BAY' MOON BAY HEAVENLY BAMBOO	#2 POT	SEE PLAN	83	
PIN	PINUS MUGO VAR. PUMILIO DWARF MUGO PINE	#5 POT	1.2m O.C.	48	
POL	POLYSTICHUM MUNIFLUM SWORD FERN	#1 POT	1.0m O.C.	116	
RHO	RHODODENDRON SSP. RHODODENDRON	#5 POT	1.5m O.C.	50	33/33/33 MIX COLOUR & FLOWERING SEASON
ROS	ROSA MEIDLAND 'ICE' WHITE SHRUB ROSE	#1 POT	0.9m O.C.	109	
SPI	SPIRAEA JAPONICA 'GOLDMOUND' GOLDMOUND SPIRAEA	#2 POT	1.2m O.C.	136	
VIB	VIBURNUM DAVIDI DAVID'S VIBURNUM	#2 POT	1.2m O.C.	124	
PERENNIALS, VINES & GROUNDCOVERS					
A	ASTILBE 'UNIQUE WHITE' # 'BURGUNDY RED' #4 WHITE ASTILBE	#1 POT	0.6m O.C.	139	50/50 MIX
C	CALLUNA VULGARIS 'SPRING TORCH' LAVENDER SCOTCH HEATHER	#1 POT	0.6m O.C.	88	
E	ERICA CARNEA 'SPRINGWOOD WHITE' WHITE HEATHER	#1 POT	0.6m O.C.	83	
II	HELICITROCHON SEMPERVIRENS BLUE OAT GRASS	#1 POT	0.75m O.C.	59	
M	MAHONIA NERVOSA DULL OREGON GRAPE	10cm POT	0.6m O.C.	25	
P	PENNISETUM ALOPECUROIDES 'HAMELY' DWARF FOUNTAIN GRASS	#1 POT	0.6m O.C.	60	
L	LAWN	SOD		2,985 sq.m.	

REFER TO SHEET L9 FOR PLANTING NOTES

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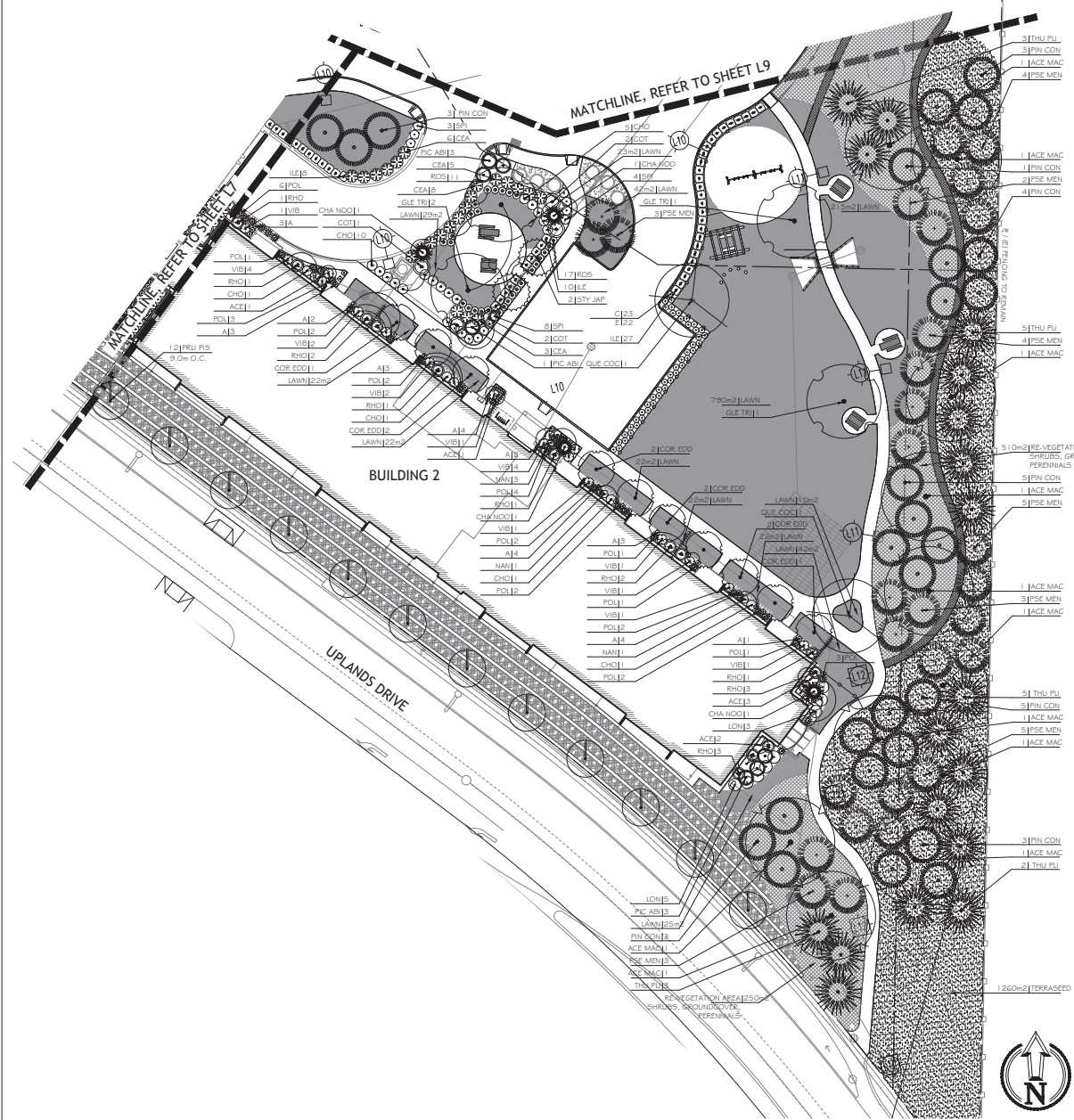
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Nanaimo, BC

PLANTING PLAN	
Date:	May 2, 2019
Drawn:	CW
Checked:	NG
Scale:	1:250 metric
Project Number:	18-022
DRAWING NUMBER:	L8 of 15

#	REVISION SCHEDULE	NOTES
0	14SEP2018	Coordination Review
1	21SEP2018	Issued for DP
2	17DEC2018	DAP Revisions
3	11JAN2019	Tender Review
4	24JAN2019	Issued for Tender
5	07FEB2019	Addendum #1
6	15FEB2019	Issued for BP
7	03MAY2019	Revised for DP

PLANT LEGEND: RE-VEGETATION AREAS & RAINGARDENS

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QUANTITY	NOTES
RE-VEGETATION AREA					
TREES:					
ACE MAC	ACER MACROPHYLLA BIG LEAF MAPLE	1.5m	SEE PLAN	11	
PIN CON	PIHUS CONTORTA VAR. CONTORTA SHORE PINE	1.5m	4.5m	24	
PSE MEN	PSEUDOTSUGA MENZIESII DOUGLAS FIR	1.5m	4.5m	26	
THU PLI	THUJA PLICATA WESTERN RED CEDAR	1.5m	6.0m	16	
SHRUBS, GROUNDCOVER, PERENNIALS:					
[Symbol]	AMELANCHIER ALNIFOLIA SASKATOON	#1 POT	1.0m O.C.	90	PLANT IN GROUPS OF 3, 5, 7 OR 9
[Symbol]	ARCTOSTAPHYLOS LIVA-URSI KINKIKNICK	#1 POT		90	
[Symbol]	CORNUS NUTTALLII PACIFIC DOGWOOD	#2 POT		90	
[Symbol]	ERIOPHYLLUM LANTANUM WOOLLY SUNFLOWER	9cm POT		90	
[Symbol]	HOLIDISCUS DISCOLOR OCEANSPRAY	#1 POT		90	
[Symbol]	MAHONIA AQUIFOLIUM TALL OREGON GRAPE	#1 POT		90	
[Symbol]	OEMLERIA CERASIFORMIS INDIAN PLUM	#1 POT		90	
[Symbol]	RIBES SANGUINEUM RED FLOWERING CURRANT	#1 POT		90	
[Symbol]	ROSA GYMNOCARPA BALDWIN ROSE	#1 POT		90	
[Symbol]	SALIX SCOULEANA SCOULEERS WILLOW	#1 POT		90	
[Symbol]	SOLIDAGO CANADENSIS GOLDENROD	#1 POT		90	
[Symbol]	TERRASED (SEED, SOIL & COMPOST): 20% PERENNIAL RYEGRASS 24% CREEPING RED FESCUE 14% ALSIKE CLOVER 13% HARD FESCUE 9% WHITE CLOVER 2% TIMOTHY 4% CANADIAN BLUEGRASS 2% RED TOP	75kg/ha		260sq.m.	
RAINGARDENS					
[Symbol]	SHRUBS, PERENNIALS: CAREX OBNUPTA STIRPA SLOUGRY SAWBEAK, SEDGE	#1 POT	1.0m O.C.	200	BOTTOM
[Symbol]	CORNUS SERICEA RED OSIER DOGWOOD	#1 POT	1.0m O.C.	440	TOP
[Symbol]	JUNCUS EFFUSUS COMMON RUSH	#1 POT	1.0m O.C.	245	LOWER SIDE SLOPES
[Symbol]	ROSA NUTKANIA NOOTKA ROSE	#1 POT	1.0m O.C.	260	WEST RAINGARDEN ONLY, TOP EDGES (NORMALLY DRY)
UPLANDS DRIVE WALL - REFER TO PLAN DETAIL A/L7					
[Symbol]	SHRUBS, GROUNDCOVER & VINES: AME AMELANCHIER ALNIFOLIA SASKATOON	#1 POT	1.0m O.C.	115	NATIVE SPECIES
[Symbol]	A ARCTOSTAPHYLOS LIVA-URSI KINKIKNICK	#1 POT	2.0m O.C.	460	NATIVE SPECIES, CASCADING
[Symbol]	HOL HOLIDISCUS DISCOLOR OCEANSPRAY	#1 POT	1.0m O.C.	115	NATIVE SPECIES
[Symbol]	MAH MAHONIA AQUIFOLIUM TALL OREGON GRAPE	#1 POT	1.0m O.C.	170	NATIVE SPECIES
[Symbol]	P PARTHENOISSISUS TRICUSPIDATA BOSTON IVY	#1 POT	2.0m O.C.	460	CLIMBING VINE
[Symbol]	PRU PRUNUS LAUROCERASUS 'OTTO LUYKEN' DWARF CHERRY LAUREL	#1 POT	1.0m O.C.	230	HEDGE TO MATCH UPLANDS DR. BOULEVARD
[Symbol]	RIB RIBES SANGUINEUM RED FLOWERING CURRANT	#1 POT	1.0m O.C.	115	NATIVE SPECIES
[Symbol]	ROS ROSA NUTKANIA NOOTKA ROSE	#1 POT	1.0m O.C.	170	NATIVE SPECIES



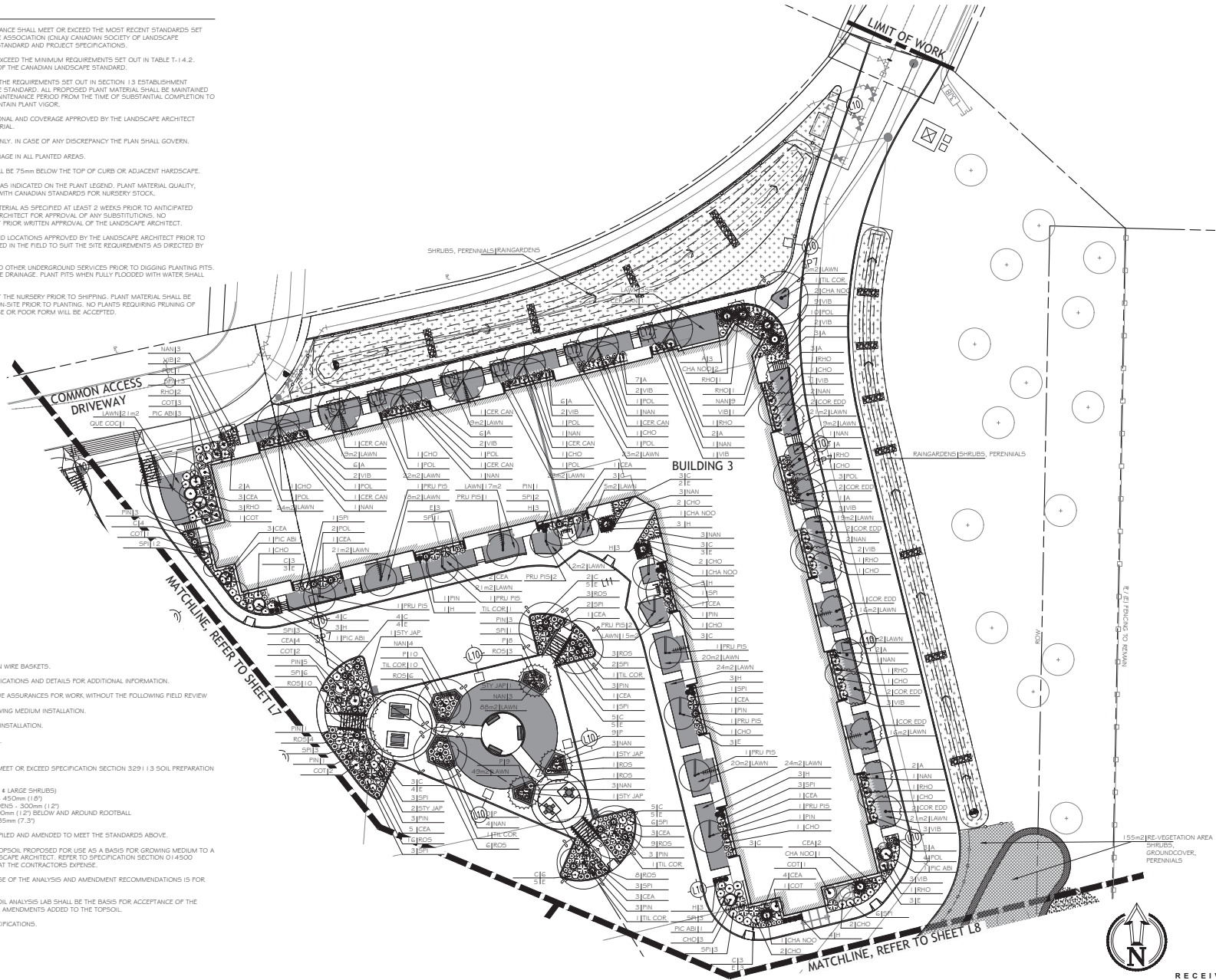
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REFER TO SHEET L9 FOR
PLANTING NOTES

PLANTING NOTES

1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD AND PROJECT SPECIFICATIONS.
2. LANDSCAPE MAINTENANCE SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS SET OUT IN TABLE T-1 4.2. MAINTENANCE LEVELS - LEVEL 2: GROUNDED OF THE CANADIAN LANDSCAPE STANDARD.
3. ESTABLISHMENT MAINTENANCE SHALL MEET THE REQUIREMENTS SET OUT IN SECTION 1.3 ESTABLISHMENT MAINTENANCE OF THE CANADIAN LANDSCAPE STANDARD. ALL PROPOSED PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE ONE YEAR MAINTENANCE PERIOD FROM THE TIME OF SUBSTANTIAL COMPLETION TO ENSURE PLANT ESTABLISHMENT AND TO MAINTAIN PLANT VIGOR.
4. THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AND COVERAGE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
5. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
6. PROVIDE MINIMUM SLOPE OF 2% FOR DRAINAGE IN ALL PLANTED AREAS.
7. THE FINISHED GRADE OF ALL PLANTERS SHALL BE 75mm BELOW THE TOP OF CURB OR ADJACENT HARDCAPE.
8. ALL PLANT MATERIAL SHALL MATCH SPECIES AS INDICATED ON THE PLANT LEGEND. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CANADIAN STANDARDS FOR NURSERY STOCK.
9. THE CONTRACTOR SHALL SECURE PLANT MATERIAL AS SPECIFIED AT LEAST 2 WEEKS PRIOR TO ANTICIPATED PLANTING TIME. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
10. TREE LOCATIONS SHALL BE FIELD STAKED AND LOCATIONS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. TREE LOCATIONS MAY BE ADJUSTED IN THE FIELD TO SUIT THE SITE REQUIREMENTS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
11. CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING PLANTING PITS. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
12. INSPECT ALL ASSEMBLED PLANT MATERIAL AT THE NURSERY PRIOR TO SHIPPING. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT ON-SITE PRIOR TO PLANTING. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

CONTINUED BELOW:



PLANTING NOTES CONTINUED:

13. ALL CALIPRE-STOCK TREES SHALL BE B 4 B IN WIRE BASKETS.
14. REFER TO PLANT LEGEND, REFERENCE SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
15. THE LANDSCAPE ARCHITECT CANNOT PROVIDE ASSURANCES FOR WORK WITHOUT THE FOLLOWING FIELD REVIEW ATTENDANCE:
 - A. REVIEW OF SUBGRADE PRIOR TO GROWING MEDIUM INSTALLATION.
 - B. REVIEW OF TREE LOCATIONS (STAKED).
 - C. REVIEW OF PLANT MATERIAL PRIOR TO INSTALLATION.
 - D. REVIEW OF SOIL SAMPLE ANALYSIS.
 - E. REVIEW OF INSTALLED PLANT MATERIAL.
16. PROPERTIES FOR GROWING MEDIUM SHALL MEET OR EXCEED SPECIFICATION SECTION 3291 I 3 SOIL PREPARATION FOR:
 - LEVEL 2 "GROUNDED" AREAS:
 - GROWING MEDIUM TYPE: 2L (TREES 4 LARGE SHRUBS)
 - SHRUBS - 450mm (1.8')
 - RANGEGARDENS - 300mm (1.2')
 - TREE - 300mm (1.2') BELOW AND AROUND ROOTBALL
 - LAWN - 185mm (7.3')
17. ON-SITE TOPSOIL MAY BE STRIPPED, STOCKPILED AND AMENDED TO MEET THE STANDARDS ABOVE.
18. SUBMIT A (4) LITRE SAMPLE OF SCREENED TOPSOIL PROPOSED FOR USE AS A BASIS FOR GROWING MEDIUM TO A SOIL ANALYSIS LAB APPROVED BY THE LANDSCAPE ARCHITECT. REFER TO SPECIFICATION SECTION 014500 QUALITY CONTROL. SOIL TESTING SHALL BE AT THE CONTRACTORS EXPENSE.
19. INDICATE TO THE SOIL LAB THAT THE PURPOSE OF THE ANALYSIS AND AMENDMENT RECOMMENDATIONS IS FOR TREES AND LARGE SHRUBS.
20. AMENDMENT RECOMMENDATIONS BY THE SOIL ANALYSIS LAB SHALL BE THE BASIS FOR ACCEPTANCE OF THE GROWING MEDIUM. RETAIN EVIDENCE OF ALL AMENDMENTS ADDED TO THE TOPSOIL.
21. MULCH SHALL BE COMPOST, REFER TO SPECIFICATIONS.
22. MULCH DEPTH SHALL BE 75mm MINIMUM.



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PLANTING PLAN	
Date:	May 2, 2019
Drawn:	CW
Checked:	NG
Scale:	1:250 metric
Project Number:	18-0212
DRAWING NUMBER:	L9 of 15

#	Date	NOTES
0	14SEP2018	Coordination Review
1	21SEP2018	Issued for DP
2	17DEC2018	DAP Revisions
3	11JAN2019	Trailer Review
4	24JAN2019	Issued for Tender
5	07FEB2019	Addendum #1
6	15FEB2019	Issued for BP
7	03MAY2019	Revised for DP

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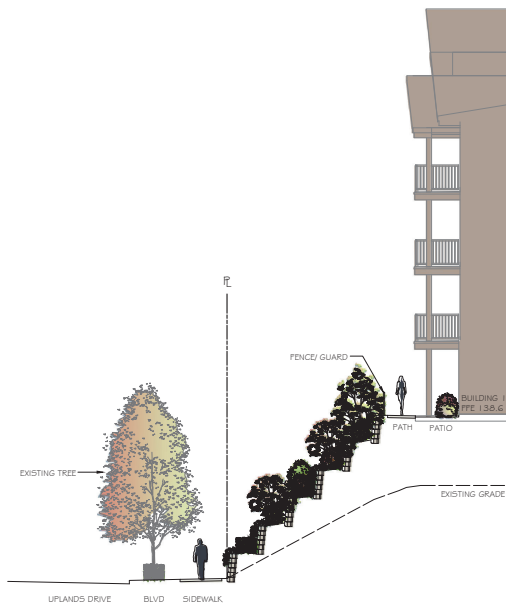
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Section



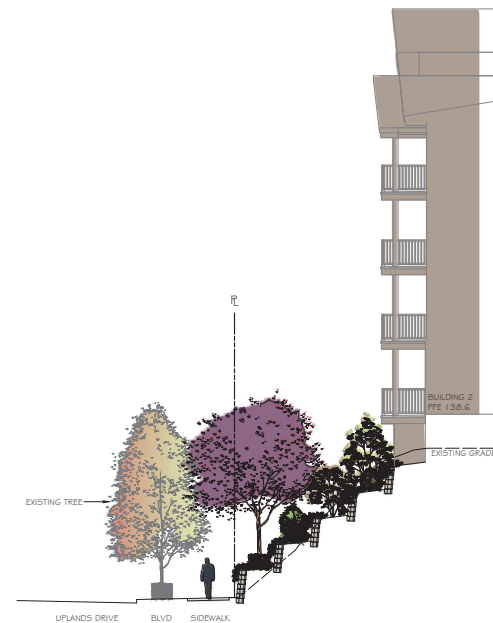
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Section



C-C
1:100 metric

Section



D-D
1:100 metric

Section

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SECTIONS	
Date:	MAY 3, 2019
Drawn:	CM
Checked:	NG
Scale:	AS NOTED
Project Number:	18-0212
DRAWING NUMBER:	L14 of 15

REVISION SCHEDULE	
#	NOTES
1	14SEP2018 Coordination Review
2	21SEP2018 Issued for DP
3	17DEC2018 DAP Revisions
4	11JAN2019 Tender Review
5	24JAN2019 Issued for Tender
6	01FEB2019 Addendum #1
7	15FEB2019 Issued for BP
8	03MAY2019 Reissued for DP



Elevation



1.07m (42") Guardrail Sample
 Photo courtesy of Abbotsford Concrete Products Ltd.
 (www.pavingstones.com)

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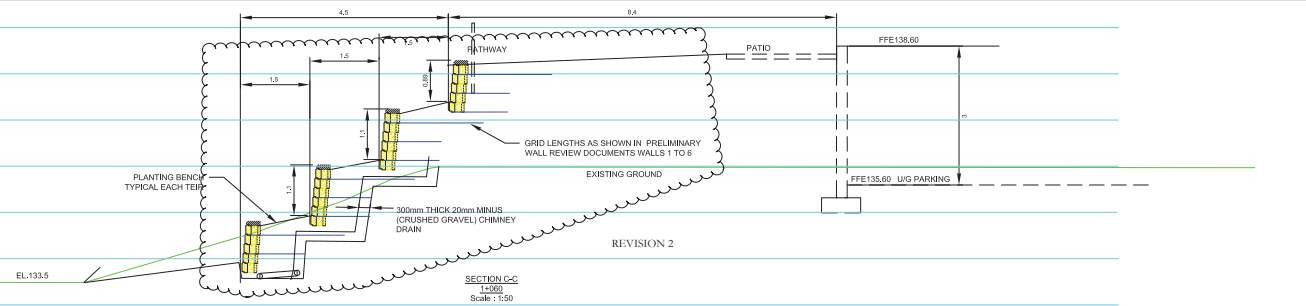
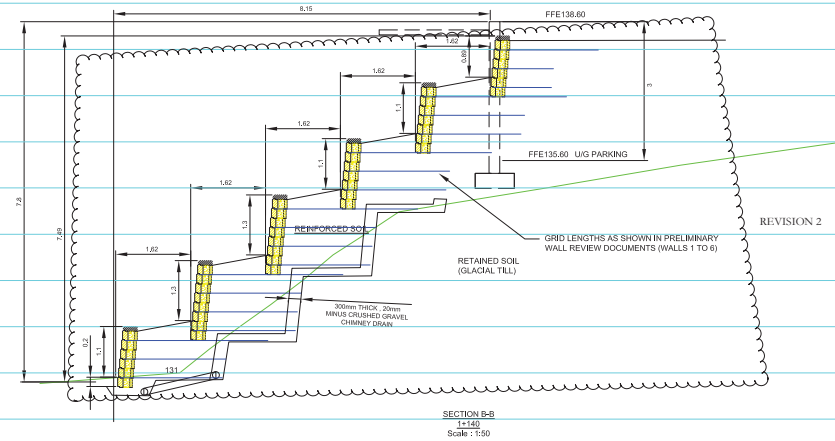
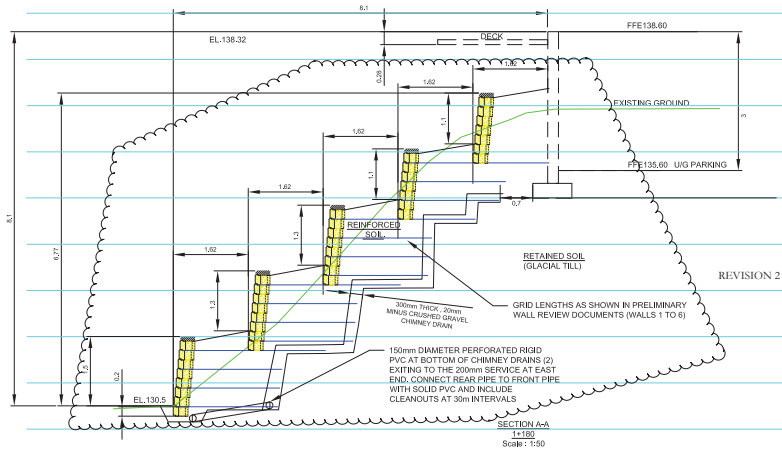
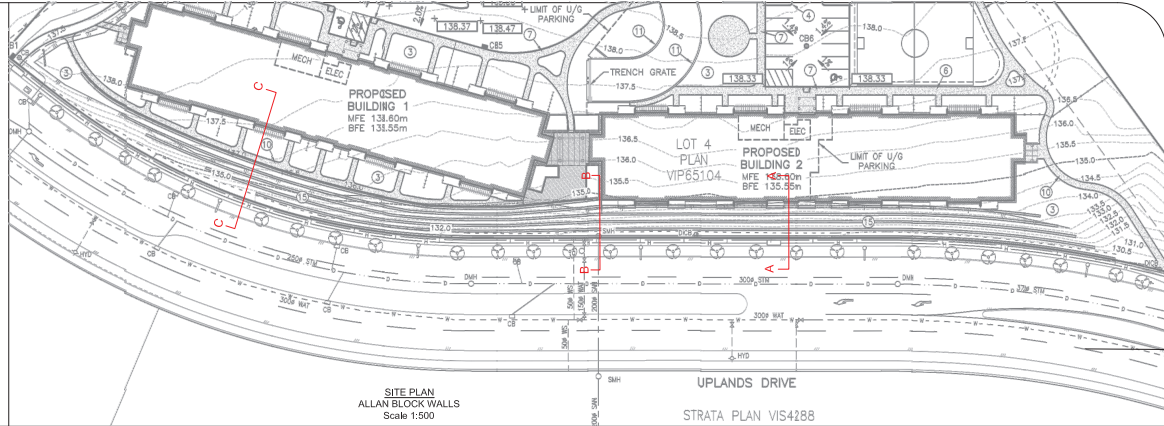
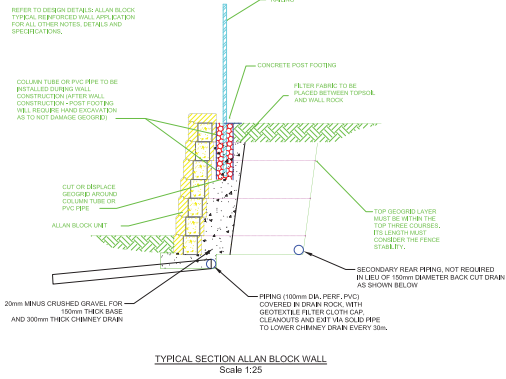
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ELEVATION & PHOTO SAMPLE

Date:	May 2, 2019
Drawn:	CM
Checked:	NG
Scale:	AS NOTED
Project Number:	18-0212
DRAWING NUMBER:	L15 of 15

#	DATE	NOTES
0	14SEP2018	Coordination Review
1	21SEP2018	Issued for DP
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ATTACHMENT H RETAINING WALL/ALLAN BLOCK DETAIL



NOTES:

SEE PRELIMINARY DESIGN DOCUMENTS FOR QUANTITY TAKE-OFF FOR WALLS 1 TO 6. THEY DO NOT INCLUDE THE BOTTOM TWO 150mm DIAMETER PIPE RUNS (420m).

REINFORCED SOIL: SILTY SAND AND GRAVEL (REUSE GLACIAL TILL) COMPACTED TO A MINIMUM 95% MODIFIED STANDARD PROCTOR AT OPTIMUM MOISTURE CONTENT, (UNDER MOISTURE CONTROLLED CONDITIONS ONLY, I.E. DRYER WEATHER)

RETAINED SOIL: VERY DENSE SILTY SAND AND GRAVEL (GLACIAL TILL) CUT SHOULD BE BENCH AND HAVE A MINIMUM 10 DEGREE BATTER, UNDER GEOTECHNICAL SUPERVISION.

SEGMENTAL BLOCKS: ALLAN BLOCK, AB CLASSIC 6 DEG., 203mm X 305mm X 457mm (8" X 12" X 18"), 34KG / EA

WALL TIER SEPARATIONS ARE TO BE EQUIDISTANT, HEIGHTS VARY. SEE SECTION DETAILS

ALL ASPECTS OF THE DESIGN AND INSTALLATION TO BE UNDER THE GEOTECHNICAL SUPERVISION. (CLIENT)

GEOGRID: TENCATE MIRAGRID 3XT AND 5XT, UNIAXIAL GEOTEXTILE, MUST BE INSTALLED PERPENDICULAR TO WALL.

ROLL SIZES: 1.8m X 91m, 3.6m X 46m (81 KG / ROLL)

REV No.	DATE	BY	P.Eng.	REVISION DESCRIPTION	LEGEND	DRAWING TITLE	ENGINEER'S SEAL	PLOT DATE	DRAWN BY
01	JAN, 31-19	JH	CH	UPDATED DESIGN		UPLANDS DRIVE ALLAN BLOCK WALL		JAN 25, 2019	JH
02	FEB 6 - 19	JH	CH	UPDATED DESIGN TENDER ADDENDUM #2		MULTI-RESIDENTIAL APARTMENTS 4800 UPLANDS & 6035 LINLEY VALLEY DRIVE, NANAIMO, BC			
						LEGAL DESCRIPTION			

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ATTACHMENT I
AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001119